



Working together with our community

Public Hearings Committee – October 04, 2023

Subject: Development Application ZNPL2020244 – 185 Robinson Street, Simcoe
Report Number: CD 23-048
Division: Community Development
Department: Planning
Ward: Ward 5
Purpose: For Public Meeting

Recommendation(s):

THAT staff Report CD-23-048 for development application ZNPL2020244 to amend the existing special provisions on the subject lands, 185 Robinson Street Simcoe, to facilitate the development of an 8-storey mixed-use building containing ground floor retail units, a long-term care facility, as well as residential apartment dwelling units be received for information;

AND FURTHER THAT any comments received as part of the statutory public meeting be considered in a future recommendation staff report.

Public Meeting Notification:

A public meeting is a statutory requirement in accordance with the Planning Act, and is intended to allow members of the public to submit written or oral comments in relation to the proposed development. Additionally, any person may make written submissions at any time prior to County Council making its final decision on the application.

Pursuant to the requirements of the Planning Act R.S.O. 1990, C. P. 13 (“Planning Act”), a notice of the statutory public meeting was posted 20 days in advance of the Public Meeting. Notifications were mailed to neighbors within 120 m of the subject lands; and a yellow notification sign was posted on the site on September 11th, 2023.

Discussion:

This application was previously brought to Public Hearing on April 7th, 2021. The subject lands are zoned Urban Residential Type 6 (R6) and the purpose of the application is to amend the existing special provisions on the subject lands. Through the planning process, staff communicated with the proponent indicating the file was going to be closed due to inactivity. In response, the proponents indicated their interest in continuing with the application. Based on this, staff outlined that due to the prolonged timeframes, updated information was necessary and further, due to the amount of time

that had passed and the revised drawings that were recently submitted, another Public Hearing was strongly recommended in order to provide the public and Council with the updated information. The original Public Hearing Committee Report CD-21-20 is included as Attachment E to this report.

Historically speaking, the subject site was home to a cannery manufacturing facility (American Can) until the early 1990's. The subject lands are located at 185 Robinson Street in Simcoe, and currently consists of an existing three (3) storey office building (the location of some Norfolk County Offices and the Provincial Offences Office), as well as a parking lot for the office building to the rear with access via Queen Street North and Robinson Street.

The proposal is to amend the Norfolk County Zoning By-Law 1-Z-2014 to facilitate the development of an 8-storey mixed-use building containing ground floor retail units, a long-term care facility, as well as residential apartment dwelling units. The proposed development is located on the Northern portion of the property, which is currently vacant.

The proposed 8-storey mixed use building would consist of 146 total units. The ground floor would include roughly 300 square meters of commercial floor space. Staff have requested additional information regarding the size of the commercial units, as the submitted drawings and corresponding zoning table provided had discrepancies regarding the commercial floor space. This information is imperative as the size of the commercial units has implications on the minimum number of parking space requirements; furthermore, it is needed to evaluate the necessity of an Official Plan Amendment, to appropriately address Section 7.7.2 (d) of the Norfolk County Official Plan.

The applicant provided the information requested above and staff can confirm that the size of the commercial floor space proposed measures in at 299 square meters and therefore meets the policy outlined in Section 7.7.2 (d) of the Norfolk County Official Plan. In regards to the impacts on the parking requirements, this is outlined below in Table 1.

Floors 2 to 4 would consist of 66 long term care units and floors 5 to 8 would consist of 74 apartment units (44 units between floors 5 and 6 and 30 units amongst floors 7 and 8). To service the site, the applicant is proposing to provide a total of 200 parking spaces. The parking configuration would consist of 47 parking spaces at grade and 153 parking spaces in a three-storey underground parking garage (51 spaces per garage level). Furthermore, the proposal is to shift existing parking spaces away from the existing Robinson Street building, currently used as part of the County's staff parking spaces through an Agreement as part of the use of that building.

In total there is a requirement of 213 total parking spaces to be provided. The table below shows that there is a deficiency in the proposed parking spaces for the medical office use, a deficiency of 13 parking spaces (40 spaces are required and 27 spaces are

provided). The following table provides a breakdown of the parking requirements for each of the proposed uses.

Table 1 : Parking Provisions and Requirements.

Parking Space Provision	Requirement	Proposed
Residential Apartment Dwelling	1.5 parking spaces for each dwelling unit (74)	200 total spaces proposed – 111 spaces will be allocated for residential use - compliant
Long Term Care Facility (LTCF)	1 parking space for every 4 patient beds (66)	200 total spaces proposed – 17 will be allocated for LTCF use - compliant
Visitor Parking	1 visitor space for every 30 square meters of useable floor area (74)	200 total spaces proposed – 25 will be allocated to visitor parking - compliant
Retail	1 parking space for every 30 square meters of useable floor area (300sq2m)	200 total spaces proposed –10 will be allocated to retail use - compliant
Medical offices	1 parking space for every 15 square meters of useable floor area (600sqm)	200 total spaces proposed – 27 will be allocated to medical offices – Not Compliant – Deficiency of 13 parking spaces
Offices	1 parking space for every 30 square meters of useable floor area (300sqm)	200 total spaces proposed – 10 will be allocated to offices - compliant

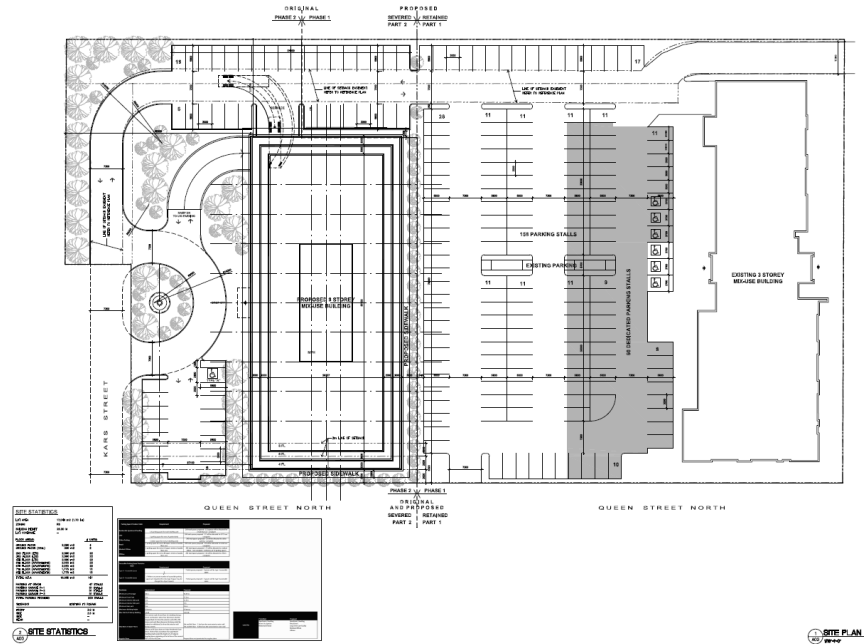


Figure 1: Subject lands showing the proposed 8-storey development and the 3-storey office building.

Further to this, the applicant is also proposing a reduced rear yard setback of 3.5 meters from the required 9 meter setback, resulting in a reduction of 5.5 meters. In addition, the applicant is also proposing a Floor Area Ratio of 2.8. The Urban Residential Type 6 (R6) zone provisions outline that the maximum Floor Area Ratio for an 8 storey building is 1. Therefore, the applicant is requesting an increase in the Floor Area Ratio of 1.8.

As a part of the development proposal, the applicant has also applied for an easement to allow for connectivity within the development to provide increased access from Kars Street to Robinson Street. In addition, the applicant will also be applying for a future severance application to divide the lot into two parcels. Parcel one would consist of the existing office building and Parcel two would consist of the currently vacant parcel.

In 2011 Parcel 1 received Site Plan Approval (SPPL2012095) for the existing 3-storey commercial use building (Phase 1), (the approved Site Plan SPPL2012095 has been attached as Attachment F). It should be noted that pending approval of the subject application, an amendment to the previously approved Site Plan would be required as the proposal is to shift existing parking spaces allocated for use by office building tenants (Norfolk County assigned parking spaces for staff working at this site). A separate site plan application will be required for the proposed 8-storey mixed use building (Phase 2). The approved site plan is attached as Attachment F to this report, illustrating the approved plan for Phase 1 and the draft concept for Phase 2, which identified the extension of the sidewalk along Queen Street.

An overview summary of the development application submitted for the subject property at 185 Robinson Street, Simcoe is contained within Attachment A. This includes an outline of the site context, the applications, and technical reports, any technical or public feedback to date and an overview of development considerations. The submitted or draft by-law amendment is included as Attachment G.

Strategic Plan Linkage:

This report aligns with the 2022-2026 Council Strategic Priority "Create a place where businesses and residents can thrive".

Explanation: The proposed development, if done in a way that maintains the integrity and planned function of surrounding land uses, could provide additional housing types that would help contribute to a vibrant community for individuals of all ages and can help contribute to business development throughout Norfolk County.

Conclusion:

A recommendation report will be provided on this matter following review of the circulation, planning considerations and this statutory public hearing meeting regarding the submitted, "complete" development application.

Attachments:

Attachment A Development Application Overview
Attachment B Planning Policy and Zoning Considerations
Attachment C Technical Comments
Attachment D Public Comments
Attachment E Public Hearing Report CD-21-20
Attachment F Site Plan SPPL2012095
Attachment G Proposed Zoning Bylaw Amendment

Approval:

Approved By:
Brandon Sloan, BES, MCIP, RPP
General Manager
Community Development Division

Reviewed By:
Tricia Givens, M.Sc.(PL), MCIP, RPP
Director of Planning
Community Development Division
Planning Department

Prepared By:
Fabian Serra, M.Sc.(PL)
Planner
Community Development Division
Planning Department

Attachment A - Report CD 23-
Development Application Overview

185 Robinson Street, Simcoe

Application File Numbers: ZNPL2020244

Applicant: 2273925 Ontario Inc.

Agent: Design Plan Services Inc. Tj Cieciora

Statutory Public Hearing

Date: July 5th, 2023

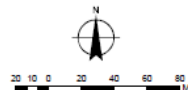
Site Context

MAP A
CONTEXT MAP
Urban Area of SIMCOE

ZNPL2020244



Legend
Subject Lands
Lands Owned
2020 Air Photo



Site Characteristics:

- 1.80 acres (7,305 square meters)
- Located along Queen Street North and Kars Street in Simcoe.
- Located within the Urban Area of Simcoe.
- The subject lands are currently vacant.

Surrounding Land:

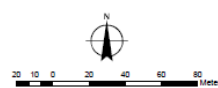
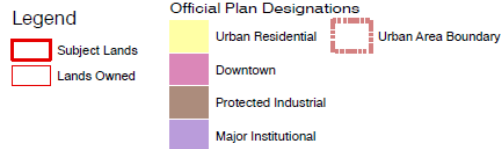
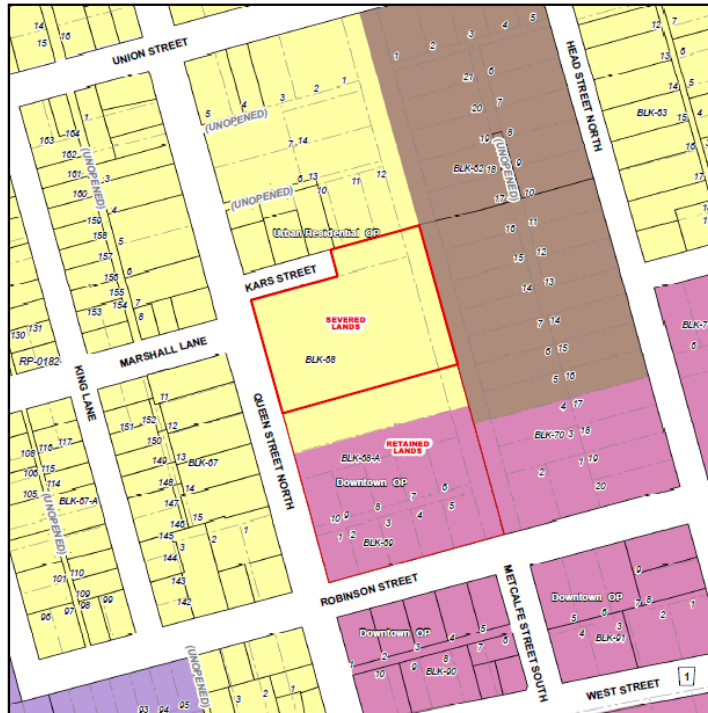
- North:** Residential
- East:** Industrial
- West:** Residential
- South:** Office

Site Context

Official Plan Map

MAP B
OFFICIAL PLAN MAP
Urban Area of SIMCOE

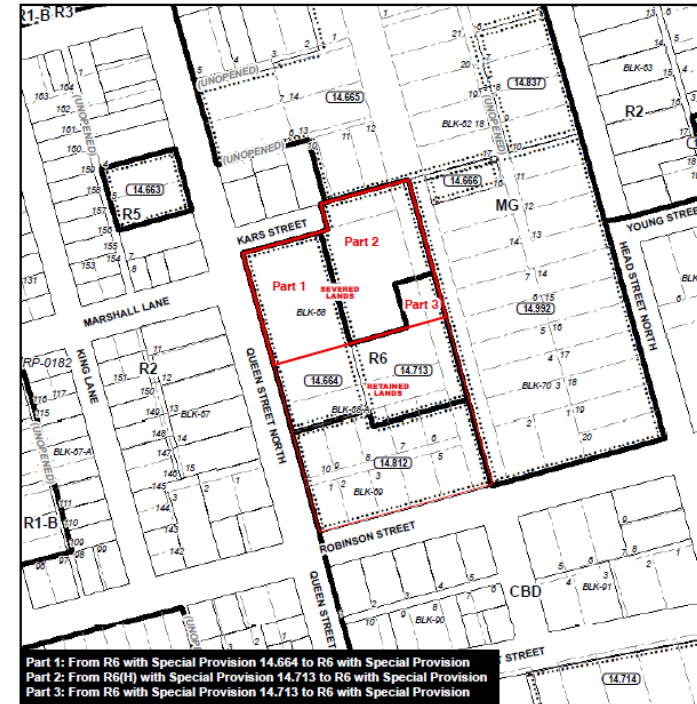
ZNPL2020244



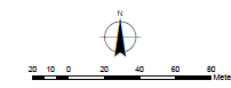
Proposed Zoning By-law Amendment Map

MAP C
PROPOSED ZONING BY-LAW AMENDMENT MAP
Urban Area of SIMCOE

ZNPL2020244



Part 1: From R6 with Special Provision 14.664 to R6 with Special Provision
Part 2: From R6(H) with Special Provision 14.713 to R6 with Special Provision
Part 3: From R6 with Special Provision 14.713 to R6 with Special Provision

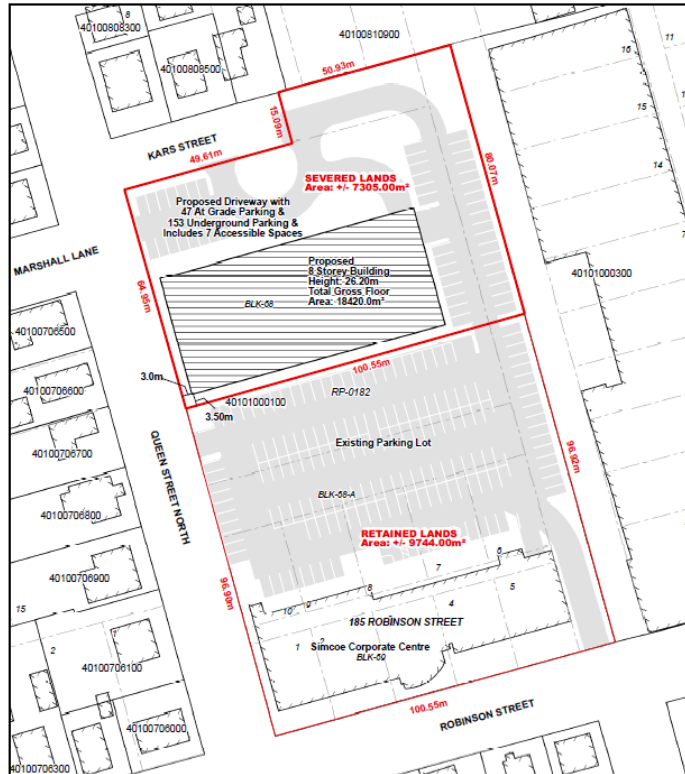


Development Proposal

Concept Plan

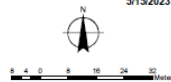
MAP D
CONCEPTUAL PLAN
Urban Area of SIMCOE

ZNPL2020244



Legend

- Subject Lands
- Lands Owned



Key Features/Proposed Subdivision:

Development Proposal:

- A Zoning By-law amendment to facilitate the development of an 8 storey mixed use building.

Proposed Zoning Amendment:

- To add a long term care facility and commercial retail units as permitted uses;
- To permit a rear yard setback of 3.5 meters;
- To increase the maximum Floor Area Ratio for an 8 storey building of 1 to a maximum Floor Area Ratio of 2.8;
- To amend the step-back provision of Section 5.6.3 of the Zoning By-Law; and
- To address any parking deficiencies of Section 4 of the Zoning By-Law.

Preliminary Review

Technical Reports:

- Planning Justification Report (Design Plan Services, November 2020)
- Site Survey (Jewitt and Dixon, August, 2022)
- Transportation Plan (Transplan, November 2022)
- Environmental Site Assessment (A&A Environmental Consultants Inc.. January, 2011).
- Site Plan (Stoyanovsky Architects)
- Floor Plan (Stoyanovsky Architects)
- Elevation Plan (Stoyanovsky Architects)





Technical Comments:

Water Modeling and water/waste water allocation will not be issues as part of the ZBA.

Public Input: Public input has been received. Concerns are as follows:

- Height of the proposed building
- Overlook concerns
- Traffic and Safety concerns
- Overflow parking concerns
- Compatibility concerns

Preliminary Considerations

Key Items		Preliminary Review
Housing		The subject lands are currently vacant. The applicant is proposing to construct an 8 storey mixed use building with a total of 147 units. The building consists of a mixture of commercial, residential, long term care and office uses.
Parking		More information regarding the size of the commercial retail units is required. This may have implications on the whether the proposed development meets the parking requirements of section 4.0 of the By-Law.
Building Height		The subject lands are currently zoned Urban Residential Type 6 (R6) which permits a building height of 8 storeys.
Commercial/Retail		More information regarding the size of the commercial retail units is required. This may have implications on the whether the proposed development meets the parking requirements of section 4.0 of the By-Law.

Next Steps & Recommendation

- Consideration of Public Hearing Input
- Review of all Technical Comments
- Recommendation Report

Public Hearing Committee Report Recommendation:

THAT staff Report CD 23-048 for development applications ZNPL2020244 be received for information;

AND FURTHER THAT any comments received as part of the statutory public meeting be considered in a future recommendation staff report.

CD-23-048 – ZNPL2020244 – 185 Robinson Street, Simcoe

Attachment B - Planning Policy and Zoning Considerations

Planning Act

Section 2 of the Planning Act outlines those land use matters that are of provincial interest and for which all county planning decisions shall have regard. The provincial interests that apply to development on this site are:

- (h) the orderly development of safe and healthy communities;
- (j) the adequate provision of a full range of housing, including affordable housing;
- (p) the appropriate location of growth and development and

Section 34 of the Planning Act permits amendments to the zoning by-law by Councils of local municipalities.

Provincial Policy Statement, 2020

The Provincial Policy Statement is intended to be read in its entirety, and the relevant policies are to be applied in each situation. Part IV: Vision for Ontario's Land Use Planning System provides the overall context for Ontario's long-term prosperity and social well-being. It states that efficient development patterns optimize the use of land, resources and public investment in infrastructure and public service facilities.

The subject land is within the settlement area as defined in the Provincial Policy Statement. Section 1.1.3.1 states that Settlement areas shall be the focus of growth and development. Section 1.1.3.4 states that appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.

Policy 1.1.3.6 of the PPS states, "New development taking place in designated growth areas should occur adjacent to the existing built-up area and should have a compact form, mix of uses and densities that allow for the efficient use of land, infrastructure and public service facilities."

Policy 1.4.3 of the PPS states, "Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market through subsections a), b), c) d) e) and f).

The PPS defines Special needs as "any housing, including dedicated facilities, in whole or in part, that is used by people who have specific needs beyond economic needs, including but not limited to, needs such as mobility requirements or support functions required for daily living. Examples of special needs housing may include, but are not limited to long-term care homes, adaptable and accessible housing, and housing for

persons with disabilities such as physical, sensory or mental health disabilities, and housing for older persons.”

Section 1.6 of the PPS outlines policies surrounding Infrastructure and Public Service Facilities. Policy 1.6.1 b) states that infrastructure and public service facilities are to be integrated with land use planning and growth management while meeting current and projected needs.

Section 1.6.6 of the PPS outlines policies surrounding Sewage, Water and Stormwater.

Policy 1.6.6.1 a) outlines that planning for sewage and water services shall accommodate forecasted growth in a manner that promotes the efficient use and optimization of existing:

- 1) Municipal sewage and municipal water services; and
- 2) Private communal sewage services and private communal water services, where municipal sewage services and municipal water services are not available or feasible;

Subsection d) outlines that sewage and water services shall be integrated and considered throughout all stages of the planning process.

Policy 1.6.6.2 of the PPS states, that municipal sewage and water services are the preferred form of servicing for settlement areas to minimize potential risks to human health and safety. Within settlement areas existing municipal sewage and water services, intensification and redevelopment shall be promoted wherever feasible to optimize the use of services.

Policy 1.6.6.3 of the PPS states, that where municipal sewage and water services are not available, planned or feasible, private communal sewage services and private communal *water services* are the preferred form of servicing for multi-unit/lot development to support protection of the environment and minimize potential risks to human health and safety.

Norfolk County Official Plan

The subject lands are currently designated “Urban Residential” in the Norfolk County Official Plan.

Section 2.2.3.2 of the Official Plan outlines objectives surrounding Maintaining and Enhancing the Rural and Small Town Character, in which policy e) states that “Develop land use patterns in the Urban Areas that are compact and efficient”.

Section 2.2.4.2 outlines the objectives of maintaining a high quality of life in that the County must provide a variety of housing forms, tenures and levels of affordability through development, redevelopment, intensification and infilling projects.

Section 4.8, of the Norfolk County Official Plan outlines the policies surrounding Potentially Contaminated Sites through subsections a), b) c) d) and e). The County encourages the remediation and redevelopment of identified contaminated sites in accordance with the Environmental Protection Act. Where the redevelopment of land involves a change of use of the property to a more sensitive use, a Record of Site Condition shall be completed.

Planning Comments: *The applicant has provided the County with an Environmental Site Assessment (Phase 1 and 2) along with a Record of Site Condition from the Ministry of Environment. The submitted ESA and RSC that were provided to the County were the same documents that were provided in 2012 when the three storey office building was in the planning process. As the current proposed use is for a more sensitive land use, planning staff has requested that the applicant obtain a new RSC from the Ministry.*

Section 5.3 b of the Norfolk County Official Plan outlines policies surrounding Housing. This section outlines that the County is to ensure that a full range of housing types and densities are provided to meet the anticipated demand and demographic change, while meeting the social, health and well-being of both current and future residents, including those with special needs.

Planning Comments: *The proposed apartment building will provide a type of housing that is currently in short supply. This development will help the County meet its 15% targets as outlined above.*

Section 5.3.1 Residential Intensification f) outlines a list of criteria in which infill development, intensification and redevelopment of sites is based on. The criteria is as follows:

- i. The development proposal is within an Urban Area, and is appropriately located in the context of the residential intensification study;
- ii. The existing water and sanitary sewer services can accommodate the additional development;
- iii. The road network can accommodate the traffic generated;
- iv. The proposed development is compatible with the existing development and physical character of the adjacent properties and surrounding neighbourhood;
and
- v. The proposed development is consistent with the policies of the appropriate Land Use Designation associated with the land.

Planning Comments: *A Traffic Impact Study (TIS) has been submitted as a part of the application. A Functional Servicing Report (FSR) is required to be submitted at the Site Stage. Greater details within the FSR and TIS may be required during the Site Plan Stage. The proposed residential condominium would provide a high density form of housing within the downtown of Simcoe. The proposed development is proposed to be*

facing in an east to west direction (parallel to the existing 3 storey office building on the subject lands).

Section 7.7.1 outlines the permitted uses within the urban residential designation. Subsection i) states that Senior citizens' homes or similar housing facilities for senior citizens including nursing homes shall be permitted to develop in accordance with the medium density residential policies of Section 7.7.2 (b) (Urban Residential Designation – Land Use Policies).

Subsection l) states that small scale neighbourhood convenience commercial and personal service uses to serve the daily shopping needs of a neighbourhood shall be permitted. Section 7.7.2 d) states that no more than one commercial structure or building shall be permitted on any site, and the gross floor area of the commercial use shall generally not exceed 300 square metres;

Planning Comments: *The proposed development is considered a high density residential development. The proposed commercial component of the development is measured at roughly 300 square meters. Staff have requested more detailed information regarding the size of the commercial spaces for the mixed use building as the applicant may require an Official Plan Amendment to address the above noted policies.*

Section 7.7.2 of the Norfolk County Official Plan outlines the land use policies of the Urban Residential Land Use designation of the Norfolk County Official Plan. Section 7.7.2 c) states that “High density residential uses, including apartment buildings and other forms of multiple housing of a similar density shall be carefully located. The following criteria shall be addressed in the consideration of such applications, especially in proximity to lower density residential development. This includes:

- Density;
- Height;
- Character of the development
- The accommodation of amenities such as garbage storage, parking and landscaping;
- Mitigating impacts on surrounding uses through traffic increases and overshadowing;
- Accessibility to open space (parks);
- Proximity to schools; and
- The site is subject to Site Plan Control.

Section 8.9.1 outlines the policies surrounding Services in the Urban Areas of Norfolk County. Subsection c) states, all development in the Urban Areas shall be fully serviced by municipal piped water supply and waste water treatment systems.

Section 8.9.3 outlines the policies surrounding Servicing allocation and phasing. Subsection a) states, when unallocated servicing capacity does not exist for a proposed development, the County shall defer the processing of the planning application until

capacity is available, or until a servicing agreement is in place to ensure that such capacity will be available to service the development. Draft approved plans of subdivision may only proceed to registration if sufficient servicing capacity continues to exist.

Norfolk County Zoning By-Law 1-Z-2014

The Subject lands are currently zoned Urban Residential Type 6 Zone (R6) with a Holding provision (H) on the property in the Norfolk County Zoning By-Law.

Section 5.6.1 of the Norfolk County Zoning By-Law 1-Z-2014 outlines the permitted uses in the R6 Zone. They are as follows:

- a) Dwelling, apartment
- b) Home occupation
- c) Retirement home

Section 5.6.2 of the Norfolk County Zoning By-Law 1-Z-2014 outlines the provisions in the R6 Zone. They are as follows:

- d) Minimum rear yard 9 meters
- e) Floor Area Ratio for an 8 storey building 1

The applicant is also proposing a reduced rear yard setback of 3.5 meters from the required 9 meter setback, resulting in a reduction of 5.5 meters.

The applicant is also proposing a Floor Area Ratio of 2.8. The Urban Residential Type 6 (R6) zone provisions outline that the maximum Floor Area Ratio for an 8 storey building is 1. Therefore, the applicant is requesting an increase in the Floor Area Ratio of 1.8.

Currently on the subject lands, there are two Special Provisions that exist. The table below outlines Existing Special Provision 14.664 and what is being proposed through this application. The second existing Special Provision 14.713 is also being amended. They are as follows:

Existing Special Provision 14.664	Proposed Special Provision 14.664
<p>14.664 In lieu of the corresponding provisions in the R6 Zone, the following shall apply:</p> <ul style="list-style-type: none"> a) minimum front yard – 1.5 metres except that any portion of an apartment dwelling greater than six (6) storeys shall be setback a minimum of 12 metres; b) minimum exterior side yard – 1.5 metres; c) minimum interior side yard – 6.5 metres; d) maximum building height – eight (8) storeys; e) maximum number of dwelling units – seventy four (74); f) minimum parking aisle width – 6.6 metres for 90 degree parking; g) setback of parking from an interior lot line shall not apply. <p>Notwithstanding the provisions of Section 4.0, the provisions of Subsection 4.2.1 shall not apply</p>	<p>In lieu of the corresponding provisions in the R6 Zone, the following shall apply:</p> <ul style="list-style-type: none"> a) To add a Special Provision in lieu of Section 5.6.1 to permit a long term care facility and commercial retail units as permitted uses. b) To add a Special Provision in lieu of Section 5.6.2 e) to permit a rear yard setback of 3.5 metres. c) To add a Special Provision in lieu of Section 5.6.2 g) v) to increase the maximum floor area ratio for an 8 storey building from 1 to a maximum floor area ratio of 2.8 (18, 420 square meters) d) To amend the step-back provision of Section 5.6.3 of the Zoning By-Law to allow a 2 meter step back at the 5th and 6th floor and a 2 meter step back at the 7th and 8th floor, as opposed to a step back of 2 meters at each of the 6th, 7th and 8th floor of the proposed building.

Existing Special Provision 14.713	Proposed Special Provision 14.713
<p>14.713 In lieu of the corresponding provisions in the R6 Zone, the following shall apply:</p> <ul style="list-style-type: none"> a) <i>front lot line</i> shall mean the most westerly <i>lot line</i>; b) minimum <i>front yard</i> – 2 metres; c) minimum <i>exterior side yard</i> – 3.5 metres; d) minimum <i>interior side yard</i> (left) – 3.5 metres; e) minimum <i>interior side yard</i> (right) – 4 metres; f) maximum <i>building height</i> – five (5) <i>storeys</i>; g) maximum number of <i>dwelling units</i> – sixty six (66); h) lofts forming part of an <i>apartment dwelling unit</i> shall not be considered a separate <i>storey</i>; i) minimum <i>parking space</i> width – 3 metres; j) minimum <i>parking aisle</i> width – 6.6 metres for 90 degree parking; k) <i>parking spaces</i> adjacent to southerly wall of the <i>apartment dwelling</i> may be used for commercial parking purposes; l) <i>setback</i> from a <i>street line</i> or property line for a <i>parking lot</i> shall not apply; m) minimum barrier-free <i>parking space</i> width – 3.65 metres; n) minimum number of <i>parking spaces</i> – eighty six (86). 	<ul style="list-style-type: none"> a) Maximum building height of 8 storeys b) Maximum number of dwelling units seventy-four (74)

Table 1 : Parking Provisions and Requirements.

Parking Space Provision	Requirement	Proposed
Residential Apartment Dwelling	1.5 parking spaces for each dwelling unit (74)	200 total spaces proposed – 111 spaces will be allocated for residential use - compliant
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Medical offices	1 parking space for every 15 square meters of useable floor area (600sqm)	200 total spaces proposed – 27 will be allocated to medical offices – Not Compliant – Deficiency of 13 parking spaces
Offices	1 parking space for every 30 square meters of useable floor area (300sqm)	200 total spaces proposed – 10 will be allocated to offices - compliant

Attachment C: Technical Comments
ZNPL2020244 185 Robinson Street

Zoning Comment:

For R4 and R6 zone;

- Decks or balconies no closer than 1.2m to interior side yards (this includes steps)
- For underground parking layout, spots along a wall require to be 3.3m wide, they are showing only 3.0m wide.
- Zoning table needs to show the required number of accessible parking spots and what is supplied.
- Will 14.664 and 14.713 be removed from the lands? If not the zoning table on the drawings is not correct with required setbacks
- For section of parking area dedicated to 185 Robinson, and special provision 14.812, a minimum of 66 parking spaces must be provided. The grey shaded area on the general site plan shows 65 parking spots which is deficient by one parking spot. However, the proposed severance will provide 185 Robinson with 87 parking spaces, for a total of 152 parking spaces. The current accessible spaces (6) as shown on the grey area will be sufficient accessible spaces for 152 parking spots. Special provision 14.812(d) will need to be amended.

Building Comment: The building department has reviewed the proposal and has NO comments or conditions.

No Ontario Building Code review has been completed at this time and will be done at permit application stage.

Please reach out to the building department as you get closer to having the planning and applicable approvals in place and staff will be happy to assist you with information on preparing for the building and septic permit stage of the project.

All general permitting inquires: by email: permits@norfolkcounty.ca or by phone: 519-426-5870x6016

Please refer to our website for current forms, and fees.

<https://www.norfolkcounty.ca/business/building/>

Development Engineering Comment:

1. According to Development Engineering records the original Pre consultation meeting for this development was held in 2019. It appears that at that time there were no requirements at the Zoning Bylaw Amendment (ZBA) Stage or that there was no indication it would go through a ZBA prior to site plan. Which would justify

why Development Engineering staff did not identify ANY requirements at Zoning Amendment Stage.

It is unclear why there was no requirement for Modelling, as modelling is always required prior to ZBA. Development Engineering cannot make a recommendation on a ZBA until modelling has been completed. Currently Development Engineering has no record of a Functional Servicing Report OR a General Plan of Services associated to this concept. Furthermore, since the original ZBA submission in 2020 there have been considerable changes to the Simcoe Water and Wastewater Modelling systems which could have significant impacts on the infrastructure surrounding this proposal.

Therefore, it is the recommendation of Development Engineering that prior to the approval of this ZBA that Modelling be completed to confirm whether the proposal can be supported by current Water and Wastewater infrastructure in Simcoe.

Water and sanitary modelling are to be completed by Norfolk County's consultant at the developer's expense.

2. All plans, reports and studies identified are to be submitted at the time of Site Plan application.
3. Water / wastewater allocation will not be issued as part of the ZBA. Applicant is to confirm capacities at the time of site plan application, at the time registration of agreement\approval allocation will be provided for the development, if available.
4. Full Development Engineering comments will be provided at the time of Site Plan submission.
5. A full Storm Water Management report will be required at the time of Site Plan Submission. All SWM reports are to follow Norfolk County Design Criteria Section 7 and adhere to Section 4 of the ISMP.
6. Any recommendations/upgrades from the Traffic Impact Study required to facilitate this development will be the responsibility of the developer.

It is recommended by Development Engineering that prior to site plan submission a Pre-Consultation meeting be held to ensure that the applicant has all new and accurate information pertaining to a proposal such as this.

Social Services and Housing: Social Services and Housing supports various housing options for residents, including the creation of additional housing stock in our communities; in particular, affordable, accessible housing. Rental options are a much needed option for Norfolk County.

GIS Comment: Please contact Norfolk GIS for new civic addresses when building

Realty Services Comment: Realty staff have reviewed the application and note that the current Lease for the Robinson Administration Building includes sixty (60) designated reserved parking spaces for Norfolk County employees including two (2) dedicated parking spaces for Justices of the Peace and two (2) dedicated parking spaces for Ontario Provincial Police. Employee parking has been designated by signage along the perimeter of the parking lot which portions of the parking lot are included in this application.

Fire Comment:

- Ensure adequate access for fire department apparatus
- Ensure adequate water supply for required fire suppression systems

Paramedic Comment: Reviewed - No comments from Paramedic Services.

January 28, 2021

To: Fabian Serra, Planner
Norfolk County,
Planning & Development
185 Robinson St
Suite 200
Simcoe, Ontario
N34-5L6

From: JANE LUKOV'S

Re ZNPL2020244 File #
3310461010001000000 Roll #
Application by TJ Cicciucca
900 The EAST MALL
Suite 300 Toronto M9B 6K2

Request for proposed Zoning Bylaw Amendment
to permit an (8) Storey mixed use apartment
building on Block 68 (severed lands). (Full
description listed on Application)

Mr Serra :

I oppose the above Zoning Bylaw Amendment
to permit an 8 Storey Building on the property
at 185 Robinson, Simcoe.

Next week I will write again (and copy my Councillors)
after I have a chance to talk with some of
my neighbours. At this moment it is important
to register my opposition as early as possible

Thank you

J. Lukov's

No email



Mr. Fabian Serra, Planner
Norfolk County
Planning and Development
185 Robinson Street
Suite 200
Simcoe, ON N3Y 5C6

Mr. Serra and Norfolk County Planning Department:

I am writing this letter to express my strong opposition to the request for a proposed Zoning Bylaw Amendment to permit an eight (8) storey, mixed-use apartment building on Block 68 (severed lands). (See full description listed on application.)

Firstly, as a resident of Simcoe for 45 years and a property owner on King Lane for 21 years, it came as quite a surprise that Norfolk County Planning Department is entertaining the idea of a zoning bylaw amendment to these subject lands. When Norfolk County acquired the American Can property and began development on the current administrative building, it was suggested that the lands would be used to build a structure that would be in line with the height of the surrounding buildings. And now we have been informed that the proposed building would be more than double the height of what was originally suggested, and this sends a message of bad faith to residents such as myself, if Norfolk County is not willing to follow through with its own long-term plans.

Secondly, there is already a major issue with traffic in the immediate area surrounding the subject lands. The volume of vehicles travelling from both Cedar Street direction and West Street is extremely heavy, especially during weekdays mornings and afternoons. But most concerning to me and should be to you, is the fact that directly in front of the subject lands is the intersection of Marshall Lane and Queen Street. Each school day multiple school buses are travelling both directions along Queen Street, as well as buses turning West on Marshall Lane to transport children to Elgin Avenue Public School. This is a very busy intersection, not only with vehicular traffic but also pedestrian traffic: school children walking to Elgin Avenue and Saint Mary's Catholic School, seniors, and everybody else who regularly walks these streets. It will be much more dangerous for all pedestrian and drivers if you allow an 8-storey building with potentially 50 -100 more vehicles on the road, turning into and out of this property. And where would these additional vehicles park? The side streets are already filled with parked cars belonging to hospital visitors and employees.

In addition to this, by looking at the statistics for accidents in Simcoe one can see that the intersection of West Street accidents frequently occur as well as at the intersection of Robinson and Queen Streets. I know this because I can clearly hear the impact at my home when accidents happen there. I certainly do not wish to see even more of this because of a huge increase in traffic in this area. Further to this, Queen Street is routinely used as route for ambulance dispatch to the West and North of Simcoe.

Adding additional traffic snarls to this area of town is going to compromise the safety of drivers and pedestrians alike.

Thirdly, the proposed development will devalue the properties of residents in the surrounding area, namely Queen Street, Kars Street, King Street, Elgin Avenue, Head Street North, Robinson Street, Marshall Lane, Union Street, and beyond. An 8-storey apartment building is completely out of place for this area. It will tower above everyone, reducing privacy and a view of the sky. Zoning bylaws exist for a reason. A structure such as the one proposed will be an eyesore to be sure, and this is exactly why the zoning bylaw must not be amended.

Finally, from my personal perspective, I know that if you allow for an 8-storey building to be constructed on the subject lands, I will never again be able to see the sunrise from my kitchen window. For my viewpoint faces due East, directly at the spot where the subject lands sit. By permitting such a tall structure, this will completely obliterate the sun from shining into my windows, onto my backyard until nearly noon, when the sun is high enough in the sky to peek over the top of such a tall building. How would you like to gaze out through your backyard window, only to stare directly at an 8-storey building behind your house? To put this into perspective, I have included photos of my backyard view as it currently appears, and a second photo showing how the same vantage point would change if the current zoning bylaw were to be overturned, permitting the construction of such a structure.

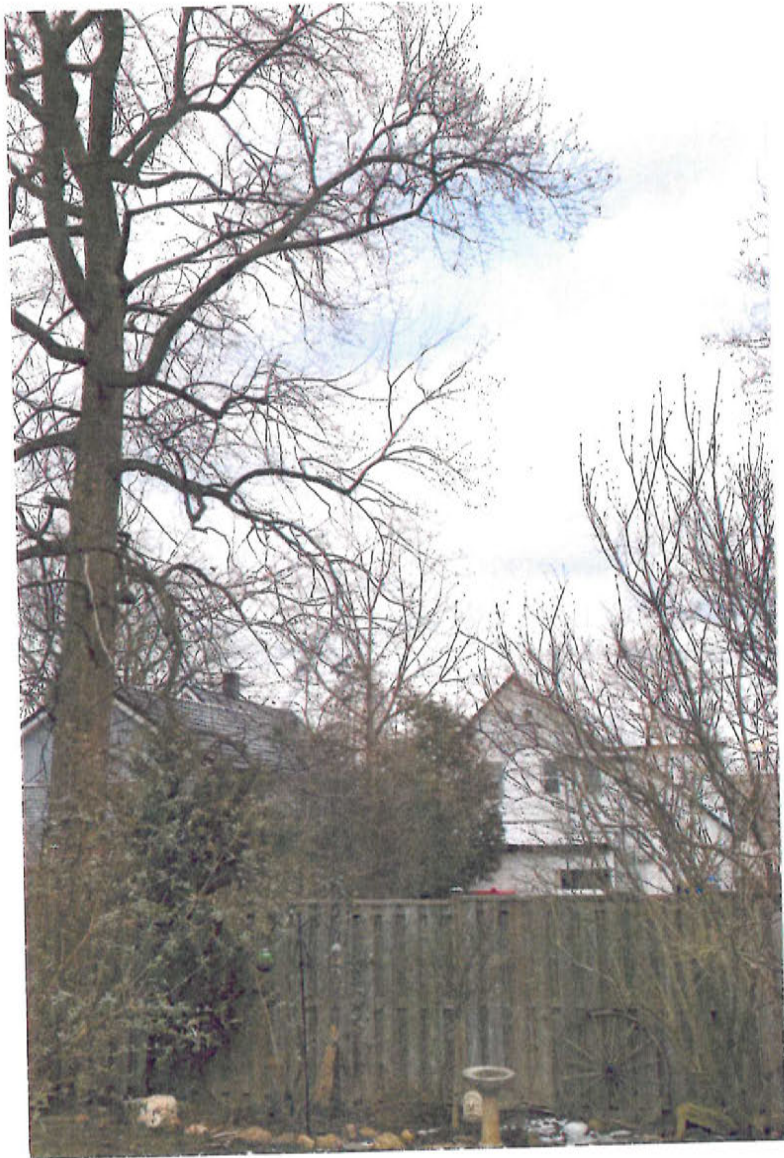
Once again, I would like to reiterate that this is a low-rise, residential area surrounding the subject lands. Do not devalue residential taxpayer's properties by amending the zoning bylaw. I adamantly oppose this proposed Zoning Bylaw Amendment.

Let us return to a day when Norfolk County cared about the best interests of its residents, rather than appeasing the big city developers in order to increase their own monetary gain.

Thank you,

Christine A. Hrycun







T. Zukows

February 2, 2021

To

FABIAN SERRA, PLANNER
185 Robinson Street, Suite 200,
Simcoe N34-5C6

RE: PROPOSED ZONING BY-LAW Amendment
(8) Storey mixed use Apartment Building
185 Robinson Street (full description on Application)

MA. SERRA,

Further to my letter of January 28th 2021 and
our telephone conversation yesterday:

My neighbour Christine Hryciun's letter in opposition
to zoning By-law Amendment (proposed) concisely
states my concerns and fears about this (8)
storey mixed use apartment building. Therefore,
I enclose both a copy of Christine's letter and a
copy of the 'bulletin version' both letters with
my signature in support of her strong opposition

I moved to 45 King Lane (at that time King Street)
eighteen years ago. Christine Hryciun has been my
'next door' neighbour for all those years and I
have great respect for her. Her love for Norfolk
County, Simcoe and especially our neighbourhood
is but one reason.

I respectfully ask that you and the Planning
Department do everything possible to stop
this proposed Amendment

Jane Zukows

Attachment A

[REDACTED]
[REDACTED]
[REDACTED]

Mr. Fabian Serra, Planner
Norfolk County
Planning and Development
185 Robinson Street
Suite 200
Simcoe, ON N3Y 5C6

Mr. Serra and Norfolk County Planning Department:

I am writing this letter to express my strong opposition to the request for a proposed Zoning Bylaw Amendment to permit an eight (8) storey, mixed-use apartment building on Block 68 (severed lands). (See full description listed on application.)

Firstly, as a resident of Simcoe for 45 years and a property owner on King Lane for 21 years, it came as quite a surprise that Norfolk County Planning Department is entertaining the idea of a zoning bylaw amendment to these subject lands. When Norfolk County acquired the American Can property and began development on the current administrative building, it was suggested that the lands would be used to build a structure that would be in line with the height of the surrounding buildings. And now we have been informed that the proposed building would be more than double the height of what was originally suggested, and this sends a message of bad faith to residents such as myself, if Norfolk County is not willing to follow through with its own long-term plans.

Secondly, there is already a major issue with traffic in the immediate area surrounding the subject lands. The volume of vehicles travelling from both Cedar Street direction and West Street is extremely heavy, especially during weekdays mornings and afternoons. But most concerning to me and should be to you, is the fact that directly in front of the subject lands is the intersection of Marshall Lane and Queen Street. Each school day multiple school buses are travelling both directions along Queen Street, as well as buses turning West on Marshall Lane to transport children to Elgin Avenue Public School. This is a very busy intersection, not only with vehicular traffic but also pedestrian traffic: school children walking to Elgin Avenue and Saint Mary's Catholic School, seniors, and everybody else who regularly walks these streets. It will be much more dangerous for all pedestrian and drivers if you allow an 8-storey building with potentially 50 -100 more vehicles on the road, turning into and out of this property. And where would these additional vehicles park? The side streets are already filled with parked cars belonging to hospital visitors and employees.

In addition to this, by looking at the statistics for accidents in Simcoe one can see that the intersection of West Street accidents frequently occur as well as at the intersection of Robinson and Queen Streets. I know this because I can clearly hear the impact at my home when accidents happen there. I certainly do not wish to see even more of this because of a huge increase in traffic in this area. Further to this, Queen Street is routinely used as route for ambulance dispatch to the West and North of Simcoe.

FS

Adding additional traffic snarls to this area of town is going to compromise the safety of drivers and pedestrians alike.

Thirdly, the proposed development will devalue the properties of residents in the surrounding area, namely Queen Street, Kars Street, King Street, Elgin Avenue, Head Street North, Robinson Street, Marshall Lane, Union Street, and beyond. An 8-storey apartment building is completely out of place for this area. It will tower above everyone, reducing privacy and a view of the sky. Zoning bylaws exist for a reason. A structure such as the one proposed will be an eyesore to be sure, and this is exactly why the zoning bylaw must not be amended.

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Once again, I would like to reiterate that this is a low-rise, residential area surrounding the subject lands. Do not devalue residential taxpayer's properties by amending the zoning bylaw. I adamantly oppose this proposed Zoning Bylaw Amendment.

Let us return to a day when Norfolk County cared about the best interests of its residents, rather than appeasing the big city developers in order to increase their own monetary gain.

Thank you,

Christine A. Hrycun

& supported by:

Tara Lukacs



N34-375

of Zubovs Feb 2nd/2021

Att: B

Simcoe, ON N3Y ____
_____, 2021

Mr. Fabian Serra, Planner
Norfolk County
Planning and Development
185 Robinson Street
Suite 200
Simcoe, ON N3Y 5C6

Mr. Serra and Norfolk County Planning Department:

I am writing this letter to express my strong opposition to the request for a proposed Zoning Bylaw Amendment to permit an eight (8) storey, mixed-use apartment building on Block 68 (severed lands). (See full description listed on application.)

I am opposed for the following reasons:

- a structure this tall is completely out of line with the height of the surrounding buildings.
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Thank you,

J. Zukows



[REDACTED]
[REDACTED]

Mr. Fabian Serra, Planner
Norfolk County
Planning and Development
185 Robinson Street
Suite 200
Simcoe, ON N3Y 5C6

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Once again, I would like to reiterate that this is a low-rise, residential area surrounding the subject lands. Do not devalue residential taxpayer's properties by amending the zoning bylaw. I adamantly oppose this proposed Zoning Bylaw Amendment.

Thank you,

Barbara McCabe



Mr. Fabian Serra, Planner
Norfolk County
Planning and Development
185 Robinson Street
Suite 200
Simcoe, ON N3Y 5C6

Mr. Serra and Norfolk County Planning Department:

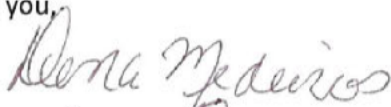
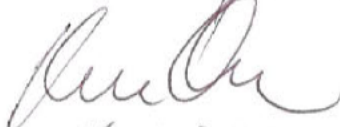
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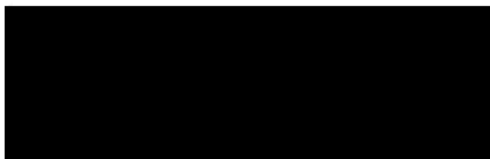
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Thank you,



KEN ORR



February 15, 2021

Norfolk County Council and
Norfolk County, Planning Department,
185 Robinson Street, Suite 200,
Simcoe, ON N3Y 5L6
Attention: Fabian Serra

Upon receipt of the Notice of Application File Number ZNPL2020244, Roll No. 331 040 1010001000000 dated January 18, 2021, I would like to make the following comments for Norfolk County Council and planning staff to consider.

I believe the Applicants could be allowed to develop on the subject lands but careful consideration must be given to the type of structure to be placed there. The present request in the application is “to permit the construction of an eight (8) storey mixed use apartment building containing ground floor retail units, a retirement home and /or long-term care facility, as well as residential dwelling units”. The type of use is needed but the height of the structure request in the application would not be the best for the surrounding area. A structure of lesser height could be allowed with the proposed use. The eight storey request would be extreme and disproportionate.

In viewing the surrounding community of the subject lands, I have noted the height of the following buildings which are appropriate and pleasing for the area:

Norfolk General Hospital – 4 storey

West Street Health Centre – 3 storey

Norfolk County offices, 185 Robinson Street, Simcoe, ON – 3 storey

Old Canadian Cannery building on Robinson Street – 3 storey

Breyers’ Good Humour – 2 storey

Ecole Sainte-Marie school – 2 storey

Elgin Avenue Public School – 3 storey

Oak Lodge Terrace Apartments, 135 Union Street – 4 storey

Indwell building, Norfolk Street South – 2 storey

St. Paul’s Court apartments, 100 Robinson Street – 3 storey

New Apartment building being constructed corner of Robinson and Talbot Streets – 2 storey

The application also did not mention the number of units wishing to be developed. If the eight storey building is allowed, parking would be an issue. This area is already flooded with cars that have taken up available parking spots on the streets of Robinson, Elgin Avenue, King Lane, Marshall Lane with persons visiting or working at the hospital who do not wish to pay in the hospital parking lot. The residents in these blocks already have difficulty when having visitors needing parking and the added stress of insufficient parking for a new eight storey building would be unacceptable. The Applicants should be indicating the amount of units they are developing so the appropriate allotment of parking spaces for residents, visitors and accessibility users of the proposed application structure can be calculated per unit without the need for offsite parking.

With respect to the angular plane of the structure, I also wish Norfolk County to consider the present residential homes in the area. With an eight storey building, the angular plane of that building would not be good urban design. The eight storey building would hinder the present residential owners from proper enjoyment of their properties, yards and spaces. The bottom line is, the request for an eight storey building is excessive and would not be respectful of the present neighbourhood.

I hope Norfolk County Council and staff note the above comments and submissions when considering the proposed application. The present residents of the neighbourhood would like to welcome an appropriate and suitable structure that will conform in a fitting way.

I also wish to be advised of the Norfolk County decision in respect to this zoning by-law.

Thank you all for your hard work and continued support to the betterment of our County.

Christina Sheppard,

████████████████████
████████████████████

[REDACTED]

Mr. Fabian Serra, Planner
Norfolk County
Planning and Development
185 Robinson Street
Suite 200
Simcoe, ON N3Y 5C6

NORFOLK COUNTY
RECEIVED
FEB 09 2021
DEVELOPMENT AND
CULTURAL SERVICES

Mr. Serra and Norfolk County Planning Department:

I am writing this letter to express my strong opposition to the request for a proposed Zoning Bylaw Amendment to permit an eight (8) storey, mixed-use apartment building on Block 68 (severed lands). (See full description listed on application.)

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Once again, I would like to reiterate that this is a low-rise, residential area surrounding the subject lands. Do not devalue residential taxpayer's properties by amending the zoning bylaw. I adamantly oppose this proposed Zoning Bylaw Amendment.

Thank you,

Spence Heskett

[REDACTED]

[REDACTED]
[REDACTED]
[REDACTED]

Mr. Fabian Serra, Planner
Norfolk County
Planning and Development
185 Robinson Street
Suite 200
Simcoe, ON N3Y 5C6

NORFOLK COUNTY
RECEIVED
FEB 10 2021
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CULTURAL SERVICES

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Thank you,

Leona Bennett

RECEIVED FEB 12 2021

- Post drop box

[REDACTED]

Mr. Fabian Serra, Planner
Norfolk County
Planning and Development
185 Robinson Street
Suite 200
Simcoe, ON N3Y 5C6

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Thank you,



RECEIVED FEB 10 2021

[REDACTED]
[REDACTED]
[REDACTED]

Mr. Fabian Serra, Planner
Norfolk County
Planning and Development
185 Robinson Street
Suite 200
Simcoe, ON N3Y 5C6

Mr. Serra and Norfolk County Planning Department:

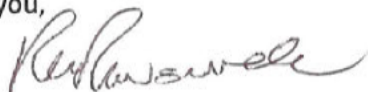
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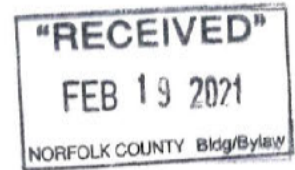
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Planning and Development
185 Robinson Street
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Simcoe, ON N3Y 5C6

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Thank you,



Working together with our community

Public Hearings Committee – April 07, 2021

Subject: ZNPL2020244 – An application has been received to amend the Zoning By-Law of Norfolk County to permit the construction of an eight (8) storey mixed use building containing ground floor retail units, a retirement home/and or long-term care facility, as well as residential dwelling units. TJ CIECIURA on behalf of 2273925 ONTARIO INC. has put forth the application affecting the lands described as 185 Robinson Street.

Report Number: CD 21-20
Division: Community Development
Department: Planning
Purpose: For Information

Executive Summary:

An application has been received to amend the Zoning By-Law with the following changes:

1. To add a long-term care facility and commercial retail units as permitted uses in the R6 Zone.
2. A reduction in the rear yard setback from 9 metres to 3 metres.
3. An increase in the maximum floor area ratio for an 8 storey building from the permitted 1 to a maximum floor area ratio of 2.6 (18, 420 square metres).

As part of this application the applicant seeks to amend the zoning by-law to amend the following provisions, however more information is required from the applicant. The provisions are listed as follows:

- 1) The Step Back Provision of Section 5.6.3 of the Norfolk County Zoning By-Law.
- 2) The Angular Plane Provision of Section 5.6.4 of the Norfolk County Zoning By-Law; and
- 3) To amend the parking provisions in Section 4 of the Zoning By-Law.

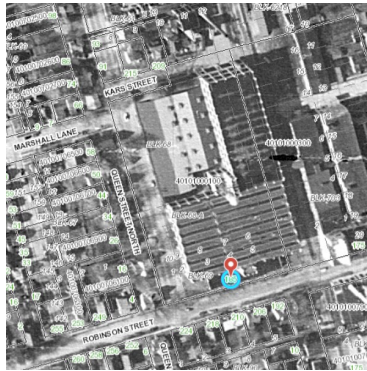
The proposal will require further consent to sever and site plan applications to complete the planning process.

Site Features and Land Use:

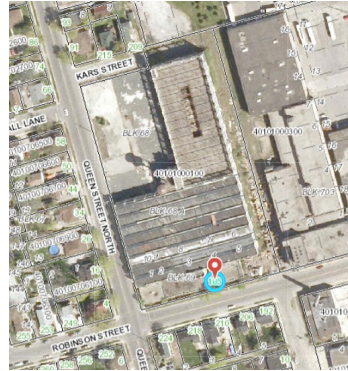
The subject lands are located at 185 Robinson Street in Simcoe, within the Simcoe Urban Residential Area. Historically speaking, the subject site was home to a cannery manufacturing facility (American Can) until the early 1990's. Currently the subject lands

includes, an existing three (3) storey office building which consists of office uses including the Norfolk County Offices and the Provincial Offences Office, as well as a parking lot for the office building. The northern portion of the property, adjacent to the existing parking lot, is currently vacant. The proposed 8 storey mixed use building is proposed to be located on the vacant portion of 185 Robinson Street.

Surrounding the subject lands are, residential and industrial uses to the north. An industrial building to the east and residential uses to the west. To the south is a parking lot and the office building and beyond that are residential uses.



1964



2006



2015

Figure 1: Satellite images of the subject lands (1964-2015).



Figure 2: The photos above show the current status of the subject lands proposed for the Zoning By-law Amendment

Discussion:

The proposed development is to establish an 8 storey mixed use apartment with ground floor retail units, a retirement home and or long-term care facility as well as residential dwellings units. The total number of units being proposed is 174. This is comprised of roughly 13,197 square feet (1,226 square meters) of commercial floor space on the ground floor, floors 2 to 4 are to consist of 66 retirement and long-term care units, and floors 5 to will consist of 74 residential units. To service the site the applicant is proposing to provide a total of 206 parking spaces.

The applicant has provided a planning justification report, a site plan, a parking assessment, a traffic impact study, a Contaminated Site Study and a Record of Site Condition. The traffic impact study and parking assessment generally suggest that the site is able to support the proposed parking allocation and that the existing infrastructure would be able to support the proposed development without roadway improvements.

Planning Justification Report: A Planning justification Report prepared by Design Plan Services Inc., dated November 25, 2020, provides additional context in relation to the proposal, current and past use of the subject lands, as well as how the proposal meets existing policies within the Provincial Policy Statement, 2020 and the Norfolk County Official Plan. In terms of the Norfolk County Zoning By-Law, the Planning Justification Report speaks to the permitted uses in the R6 Zone, as well as the Site Specific Amendments that would be required to permit the proposal.

Holding Provision: As part of the Zoning By-Law Amendment application, the applicant is requesting that the Holding (H) Provision on the subject lands be lifted. Planning staff note that the Holding will be maintained until such time that concerns regarding site cleanup, site plan approval, the applicant has entered into a development agreement, and other applicable matters have been addressed.

Transportation Study: A Traffic Impact Study and Parking Assessment prepared by Trans-Plan Transportation Engineering dated August 12, 2020 indicates that the intersections are expected to operate acceptably and that there would be no additional roadway improvements required to accommodate the proposed development. The parking assessment provides recommendations to justify the proposed parking allocation for the site and that the proposed parking supply could accommodate the future parking demands of the site.

Further review and input from Development Engineering will be required prior to submission of the staff recommendation report.

Environmental Site Assessment and Record of Site Condition Certificate: The applicant has provided the County with an Environmental Site Assessment (Phase 1 and 2) and a Record of Site Condition. The Environmental Site Assessment revealed that there shows no evidence of contamination from the canning manufacturing facility previously located on the subject lands. The applicant provided a Record of Site

Condition that was previously used when developing the 3 storey office building on the southern portion of the subject lands. Planning staff has requested that the applicant obtain a new Record of Site Condition from the Ministry of Environment, Conservation and Parks for the proposed development as it is a more sensitive land use. The applicant is currently in the process of obtaining a new certificate.

The applicable information will be necessary prior to the submission of the final recommendation report to Council for consideration.

Site Plan Control: Following any approvals in relation to this submission, the proposed development will be required to follow the site plan control provisions to ensure the County's development standards are maintained including appropriate buffering, design and other related features.

Agency Circulation Comments: Appendix A

Planning staff has received a number of Staff comments (Appendix A). Key issues addressed in the Staff comments include:

- Based on some current studies as part of our Inter Urban Water Supply study we have identified a potential supply deficiency in Simcoe. Staff will be undertaking additional studies to confirm this over the next few months and a further report will be made available. As a result, development applications which have recently been submitted and deemed complete will be processed to the point of a public hearing, but under our Official Plan, cannot proceed to a decision and must be deferred until allocation and water servicing is confirmed to be available, consistent with the Norfolk County Official Plan Section 8.9.3 (Servicing Allocation and Phasing).

Regard For Public Input:

This report is being presented as part of the statutory public meeting requirement. At this time, the County has received three letters of opposition. The letters have been attached as Appendix C. To summarize the contents of the letters, concerns were raised surrounding the following items:

- The proposed height of the building;
- Traffic volume and traffic increase;
- Pedestrian accessibility and safety;
- Inadequate parking;
- Parking concerns due to the potential increase in on street parking from visitors and residents;
- Compatibility with the surrounding area (height and character); and
- Privacy concerns.

Staff will respond to any comments received regarding the subject application as part of the future staff recommendation report for Council consideration.

Planning Considerations:

It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals.

Provincial Policy Statement, 2020

The Provincial Policy Statement is intended to be read in its entirety, and the relevant policies are to be applied in each situation. Part IV: Vision for Ontario's Land Use Planning System provides the overall context for Ontario's long-term prosperity and social well-being. It states that efficient development patterns optimize the use of land, resources and public investment in infrastructure and public service facilities.

The subject land is within the settlement area as defined in the Provincial Policy Statement. Section 1.1.3.1 states that Settlement areas shall be the focus of growth and development. Section 1.1.3.4 states that appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.

Policy 1.1.3.6 of the PPS states, "New development taking place in designated growth areas should occur adjacent to the existing built-up area and should have a compact form, mix of uses and densities that allow for the efficient use of land, infrastructure and public service facilities."

Policy 1.4.3 of the PPS states, "Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market through subsections a), b), c) d) e) and f).

The PPS defines Special needs as "any housing, including dedicated facilities, in whole or in part, that is used by people who have specific needs beyond economic needs, including but not limited to, needs such as mobility requirements or support functions required for daily living. Examples of special needs housing may include, but are not limited to long-term care homes, adaptable and accessible housing, and housing for persons with disabilities such as physical, sensory or mental health disabilities, and housing for older persons."

Section 1.6 of the PPS outlines policies surrounding Infrastructure and Public Service Facilities. Policy 1.6.1 b) states that infrastructure and public service facilities are to be integrated with land use planning and growth management while meeting current and projected needs.

Section 1.6.6 of the PPS outlines policies surrounding Sewage, Water and Stormwater.

Policy 1.6.6.1 a) outlines that planning for sewage and water services shall accommodate forecasted growth in a manner that promotes the efficient use and optimization of existing:

- 1) Municipal sewage and municipal water services; and
- 2) Private communal sewage services and private communal water services, where municipal sewage services and municipal water services are not available or feasible;

Subsection d) outlines that sewage and water services shall be integrated and considered throughout all stages of the planning process.

Policy 1.6.6.2 of the PPS states, that municipal sewage and water services are the preferred form of servicing for settlement areas to minimize potential risks to human health and safety. Within settlement areas existing municipal sewage and water services, intensification and redevelopment shall be promoted wherever feasible to optimize the use of services.

Policy 1.6.6.3 of the PPS states, that where municipal sewage and water services are not available, planned or feasible, private communal sewage services and private communal *water services* are the preferred form of servicing for multi-unit/lot development to support protection of the environment and minimize potential risks to human health and safety.

Planning Comments: Planning Staff will perform a conformity check based on the above-mentioned policies of PPS, 2020 within the recommendation report.

Norfolk County Official Plan

The subject lands are currently designated “Urban Residential” in the Norfolk County Official Plan.

Section 2.2.3.2 of the Official Plan outlines objectives surrounding Maintaining and Enhancing the Rural and Small Town Character, in which policy e) states that “Develop land use patterns in the Urban Areas that are compact and efficient”.

Section 2.2.4.2 outlines the objectives of maintaining a high quality of life in that the County must provide a variety of housing forms, tenures and levels of affordability through development, redevelopment, intensification and infilling projects.

Section 4.8, of the Norfolk County Official Plan outlines the policies surrounding Potentially Contaminated Sites through subsections a), b) c) d) and e). The County encourages the remediation and redevelopment of identified contaminated sites in accordance with the Environmental Protection Act. Where the redevelopment of land involves a change of use of the property to a more sensitive use, a Record of Site Condition shall be completed .

Planning Comments: *The applicant has provided the County with an Environmental Site Assessment (Phase 1 and 2) along with a Record of Site Condition from the Ministry of Environment. The submitted ESA and RSC that were provided to the County were the same documents that were provided in 2012 when the three storey office*

building was in the planning process. As the current proposed use is for a more sensitive land use, planning staff has requested that the applicant obtain a new RSC from the Ministry.

Section 5.3 b of the Norfolk County Official Plan outlines policies surrounding Housing. This section outlines that the County is to ensure that a full range of housing types and densities are provided to meet the anticipated demand and demographic change, while meeting the social, health and well-being of both current and future residents, including those with special needs.

Planning Comments: *The proposed apartment building will provide a type of housing that is currently in short supply. This development will help the County meet its 15% targets as outlined above.*

Section 5.3.1 Residential Intensification f) outlines a list of criteria in which infill development, intensification and redevelopment of sites is based on. The criteria is as follows:

- i. The development proposal is within an Urban Area, and is appropriately located in the context of the residential intensification study;
- ii. The existing water and sanitary sewer services can accommodate the additional development;
- iii. The road network can accommodate the traffic generated;
- iv. The proposed development is compatible with the existing development and physical character of the adjacent properties and surrounding neighbourhood; and
- v. The proposed development is consistent with the policies of the appropriate Land Use Designation associated with the land.

Planning Comments: *A Traffic Impact Study (TIS) has been submitted as a part of the application. A Functional Servicing Report (FSR) is required to be submitted at the Site Stage. Greater details within the FSR and TIS may be required during the Site Plan Stage. The proposed residential condominium would provide a high density form of housing within the downtown of Simcoe. The proposed development is proposed to be facing in a east to west direction (parallel to the existing 3 storey office building on the subject lands). Additional review by Planning of compatibility and design is required.*

Section 7.7.1 outlines the permitted uses within the urban residential designation. Subsection i) states that Senior citizens' homes or similar housing facilities for senior citizens including nursing homes shall be permitted to develop in accordance with the medium density residential policies of Section 7.7.2 (b) (Urban Residential Designation – Land Use Policies).

Subsection l) states that small scale neighbourhood convenience commercial and personal service uses to serve the daily shopping needs of a neighbourhood shall be permitted. Section 7.7.2 d) states that no more than one commercial structure or building shall be permitted on any site, and the gross floor area of the commercial use shall generally not exceed 300 square metres;

Planning Comments: *The proposed development is considered a high density residential development. The proposed commercial component of the development is measured at roughly 1,226 square meters and therefore, the applicant may require an Official Plan Amendment to address the above noted policies.*

Section 7.7.2 of the Norfolk County Official Plan outlines the land use policies of the Urban Residential Land Use designation of the Norfolk County Official Plan. Section 7.7.2 c) states that “High density residential uses, including apartment buildings and other forms of multiple housing of a similar density shall be carefully located. The following criteria shall be addressed in the consideration of such applications, especially in proximity to lower density residential development. This includes:

- Density;
- Height;
- Character of the development
- The accommodation of amenities such as garbage storage, parking and landscaping;
- Mitigating impacts on surrounding uses through traffic increases and overshadowing;
- Accessibility to open space (parks);
- Proximity to schools; and
- The site is subject to Site Plan Control.

Section 8.9.1 outlines the policies surrounding Services in the Urban Areas of Norfolk County. Subsection c) states, all development in the Urban Areas shall be fully serviced by municipal piped water supply and waste water treatment systems.

Section 8.9.3 outlines the policies surrounding Servicing allocation and phasing. Subsection a) states, when unallocated servicing capacity does not exist for a proposed development, the County shall defer the processing of the planning application until capacity is available, or until a servicing agreement is in place to ensure that such capacity will be available to service the development. Draft approved plans of subdivision may only proceed to registration if sufficient servicing capacity continues to exist.

Planning Comments: *Planning Staff will perform a conformity check based on the above-mentioned policies of the Official Plan within the recommendation report. Further to this, Water Servicing Capacity is currently under review.*

Norfolk County Zoning By-Law 1-Z-2014

The Subject lands are currently zoned Urban Residential Type 6 Zone (R6) with a Holding provision (H) on the property in the Norfolk County Zoning By-Law.

Section 5.6.1 of the Norfolk County Zoning By-Law 1-Z-2014 outlines the permitted uses in the R6 Zone. They are as follows:

- a) Dwelling, apartment
- b) Home occupation
- c) Retirement home

Currently on the subject lands, there are two Special Provisions that exist. The table below outlines Existing Special Provision 14. 664 and what is being proposed through this application. The second existing Special Provision is listed, however what is being proposed is not discussed as more information is required from the applicant. They are as follows:

Existing Special Provision 14.664	Proposed Special Provision 14.664
<p>14.664 In lieu of the corresponding provisions in the R6 Zone, the following shall apply:</p> <ul style="list-style-type: none"> a) minimum front yard – 1.5 metres except that any portion of an apartment dwelling greater than six (6) storeys shall be setback a minimum of 12 metres; b) minimum exterior side yard – 1.5 metres; c) minimum interior side yard – 6.5 metres; d) maximum building height – eight (8) storeys; e) maximum number of dwelling units – seventy four (74); f) minimum parking aisle width – 6.6 metres for 90 degree parking; g) setback of parking from an interior lot line shall not apply. <p>Notwithstanding the provisions of Section 4.0, the provisions of Subsection 4.2.1 shall not apply</p>	<p>In lieu of the corresponding provisions in the R6 Zone, the following shall apply:</p> <ul style="list-style-type: none"> a) To add a Special Provision in lieu of Section 5.6.1 to permit a long term care facility and commercial retail units as permitted uses. b) To add a Special Provision in lieu of Section 5.6.2 e) to permit a rear yard setback of 3 metres. c) To add a Special Provision in lieu of Section 5.6.2 g) v) to increase the maximum floor area ration for an 8 storey building to a maximum floor area ratio of 2.6 (18, 420 square metres).

Existing Special Provision 14.713	Proposed Special Provision 14.713
<p>14.713 In lieu of the corresponding provisions in the R6 Zone, the following shall apply:</p> <p>a) <i>front lot line</i> shall mean the most westerly <i>lot line</i>;</p> <p>b) minimum <i>front yard</i> – 2 metres;</p> <p>c) minimum <i>exterior side yard</i> – 3.5 metres;</p> <p>d) minimum <i>interior side yard</i> (left) – 3.5 metres;</p> <p>e) minimum <i>interior side yard</i> (right) – 4 metres;</p> <p>f) maximum <i>building height</i> – five (5) storeys;</p> <p>g) maximum number of <i>dwelling units</i> – sixty six (66);</p> <p>h) lofts forming part of an <i>apartment dwelling unit</i> shall not be considered a separate <i>storey</i>;</p> <p>i) minimum <i>parking space</i> width – 3 metres;</p> <p>j) minimum <i>parking aisle</i> width – 6.6 metres for 90 degree parking;</p> <p>k) <i>parking spaces</i> adjacent to southerly wall of the <i>apartment dwelling</i> may be used for commercial parking purposes;</p> <p>l) <i>setback</i> from a <i>street line</i> or property line for a <i>parking lot</i> shall not apply;</p> <p>m) minimum barrier-free <i>parking space</i> width – 3.65 metres;</p> <p>n) minimum number of <i>parking spaces</i> – eighty six (86).</p>	<p>More information is required from the applicant.</p>

Notwithstanding the provisions of Section 4.0, the provisions of Subsection 4.2.1 shall not apply.	
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As part of this zoning application, the applicant intends to amend the Zoning By-Law to change the following items:

- 1) To amend the parking provisions in Section 4 of the Zoning By-Law.
- 2) The Step Back Provision of Section 5.6.3 of the Norfolk County Zoning By-Law.
- 3) The Angular Plane Provision of Section 5.6.4 of the Norfolk County Zoning By-Law.

At this time, Planning staff are still reviewing the proposal with respects to compatibility and the overall design of the building and site, as a whole.

Parking Provisions

The applicant is requesting to amend the parking provisions in Section 4 of the Zoning By-Law.

The applicant requires the following parking allocations for the proposed uses:

- 111 spaces for the Residential Apartment Parking
- 24 Visitor Parking spaces
- 99 Parking spaces for the Retirement component
- 8 parking spaces for the Long-Term care component
- 41 parking spaces for the commercial parking component
- 283 parking spaces are required in total.

In terms of accessible parking spaces, the applicant is required to provide a total of 8 accessible parking spaces (4 Type A spaces and 4 Type B spaces). The applicant has proposed a total of 7 accessible spaces (4 Type A and 3 Type B spaces).

Therefore, the applicant is proposing a total of 206 parking spaces. The applicant is requesting relief of 77 parking spaces and a reduction in 1 Type B accessible parking space.

Step Back Provisions

The applicant is proposing to amend Section 5.6.3 of the Norfolk County Zoning By-Law.

The Step Back Provision of Section 5.6.3 of the Norfolk County Zoning reads as follows:

“The exterior wall of each floor of a building facing a street and located above four (4) storeys shall be stepped back 2 metres from the exterior wall of the 4th storey and each

floor above six (6) storeys shall be setback an additional 2 metres from the exterior wall facing a street.”

The applicant has proposed the following Step Backs for the proposed development

Building Direction	Ground Floor- Floor 4	Floors 5&6	Floors 7&8
West	3 meters	5 meters	7 meters
South	3.5 meters	5.5 meters	7.5 meters
North	27.1 meters	29.1 meters	31.1 meters
East	21.9 meters	23.9 meters	25.9 meters

Therefore, the applicant is requesting relief from Section 5.6.3 as they are only proposing two 2 meter Step Backs at the 5th and 6th floors and one at the 7th and 8th floors, as opposed to a Step Back of 2 meters at each of the 6th, 7th and 8th floor of the proposed building.

The Angular Plane Provision

The Angular Plane Provision of Section 5.6.4 of the Norfolk County Zoning reads as follows:

“Where an R6 Zone abuts an Urban Residential Zone (R1-A, R1-B or R2), no portion of an apartment dwelling shall exceed the height of a 45 degree angular plane originating at the lot line of the nearest R1-A, R1-B or R2 Zone.”

At this time, more information is required from the applicant in regards to specifics surrounding the requested Angular Plane. This information will be required from the applicant prior to establishing a by-law.

The attached diagram (Appendix D) indicates the current Angular Plane of 45 degrees and the impact of the proposed development on the Angular Plane.

The attached Planning Justification Report (Appendix B) by Design Plan Services was submitted as part of the complete application. The Planning Justification Report provides additional context in relation to the proposal. In the staff recommendation report, further analysis will be provided in relation to potential impacts on streetscape, implications on built form in regards to step backs and angular plane.

As part of the Zoning By-Law Amendment application, the applicant is requesting that the Holding (H) Provision on the subject lands be lifted. Planning staff note that the Holding will be maintained until such time that the applicant has entered into a development agreement and potentially for servicing or other purposes.

In order to sever the subject lands from the currently developed portion of 185 Robinson Street, the applicant is required to submit a subsequent consent application.

It should be noted that the proposed development is not permitted to utilize the existing parking lot at 185 Robinson Street to service the proposed development.

Strategic Plan Linkage:

This report aligns with the 2019-2022 Council Strategic Priority "Foster Vibrant, Creative Communities".

Explanation: The proposed development will provide a diverse and attractive mix of housing options near the Downtown Core of Simcoe, while increasing the amount of affordable housing available to the community.

Conclusion: The purpose of this report is to summarize the planning application proposal, provide the comments received from applicable departments and agencies, summarize comments received from member of the public, and to provide general information in relation to the overall application. A staff report with related recommendations will be submitted to Council for consideration at a later date.

Recommendation(s):

That Report CD 21-20, Public Hearing report for ZNPL2020244 be received for information;

THAT any outstanding technical comments and requirements necessary prior to bringing forward a recommendation report be addressed;

AND THAT any comments received as part of the statutory public meeting be considered in a future recommendation staff report.

Attachment(s):

Maps 1 to 4

Appendix A Agency Circulation Comments

Appendix B Planning Justification Report, November 25, 2020

Appendix C Public Comments

Appendix D Angular Plane Diagram

Submitted By:

Brandon Sloan, BES, MCIP, RPP
General Manager
Community Development Division
For more information call,
519-426-5870 ext. 1348

Reviewed By:

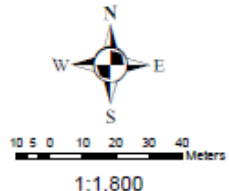
Tricia Givens, M.Sc.(PL), MCIP, RPP
Director of Planning
Community Development Division
For more information call,
519-426-5870 ext. 1893

Prepared By:

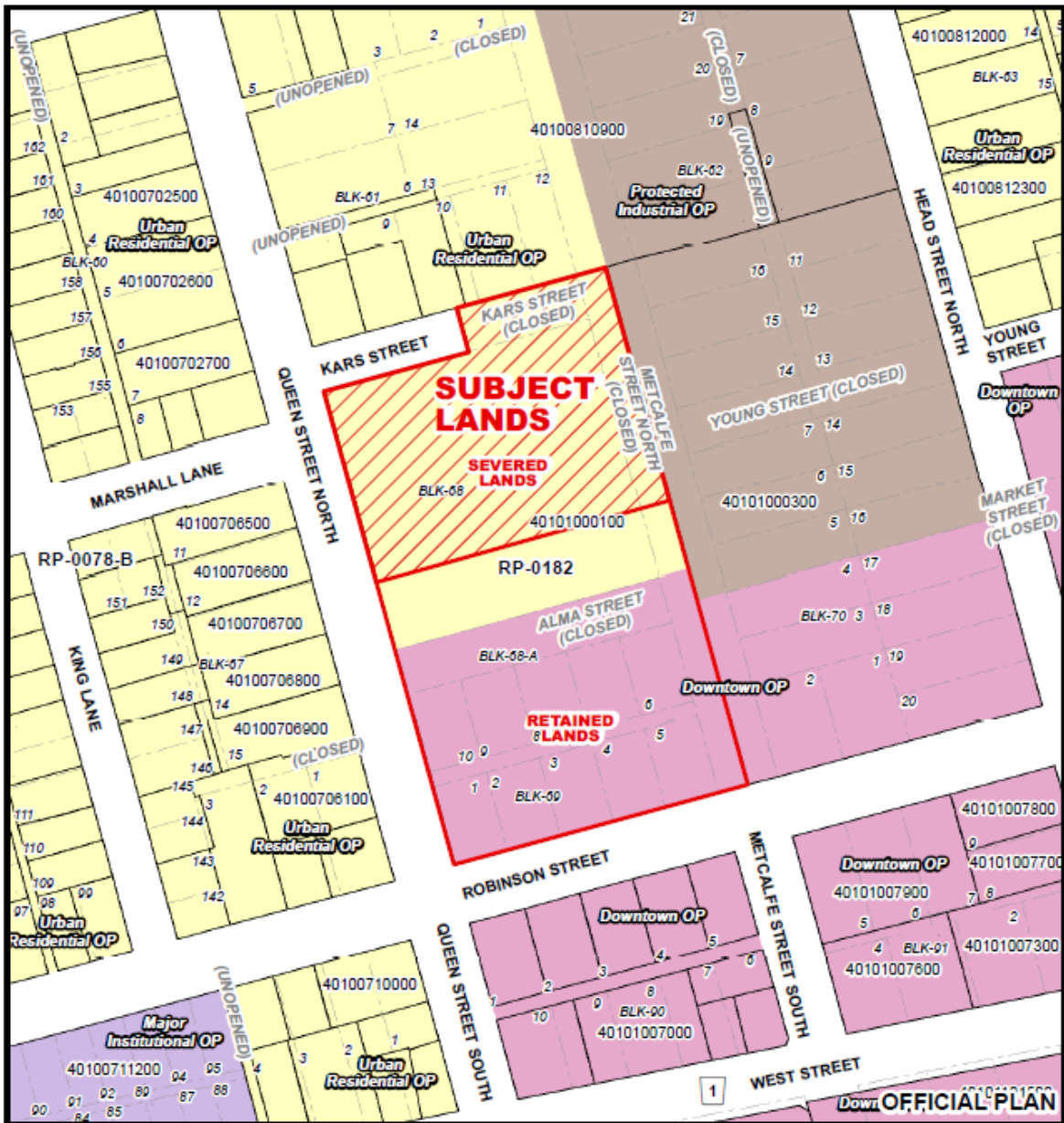
Fabian Serra, M.Sc.(PL), BA,
Planner
Community Development Division

For more information, call:
519-426-5870 ext. 1834

MAP 1
File Number: ZNPL2020244
Urban Area of SIMCOE



1:1,800



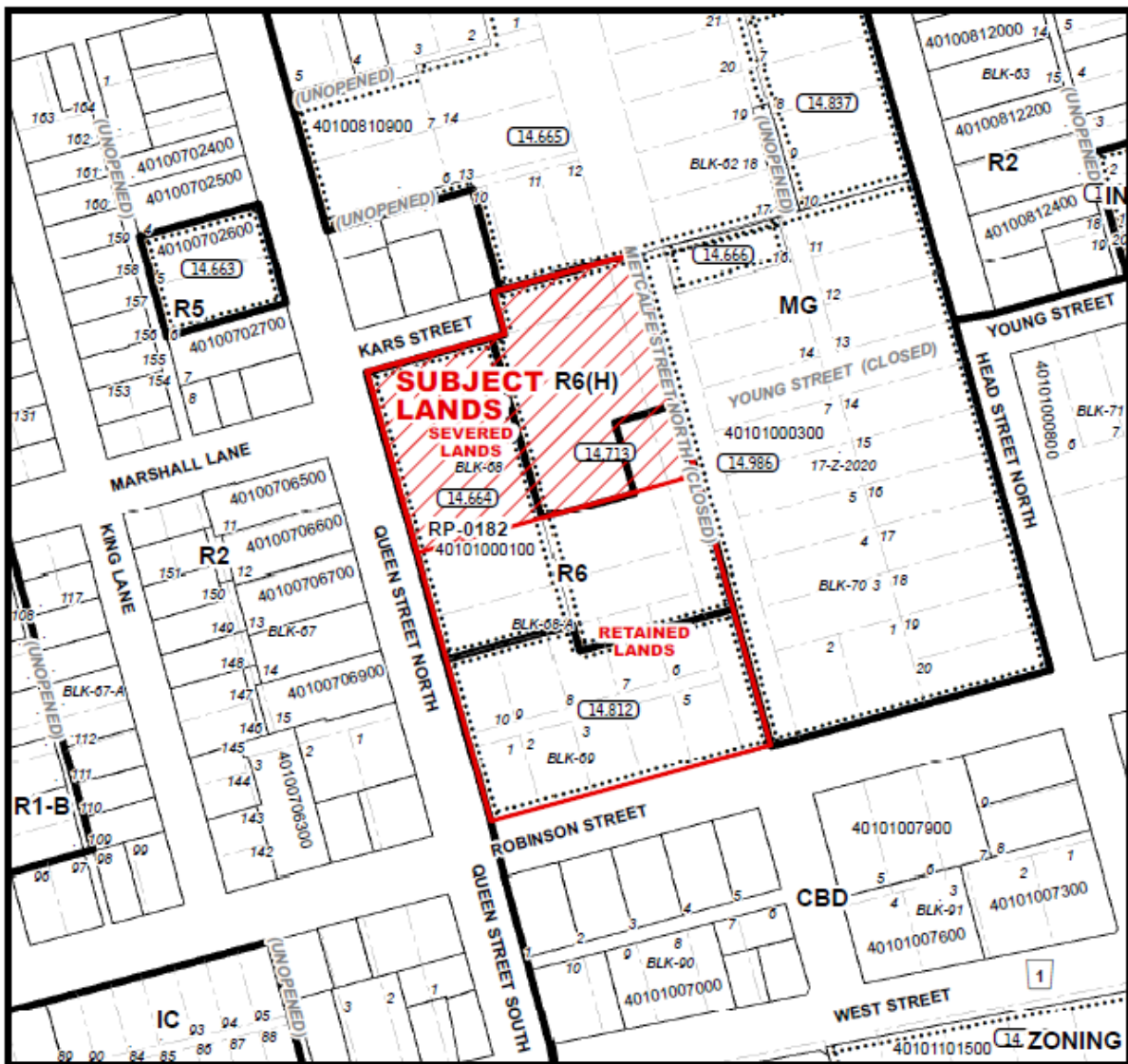
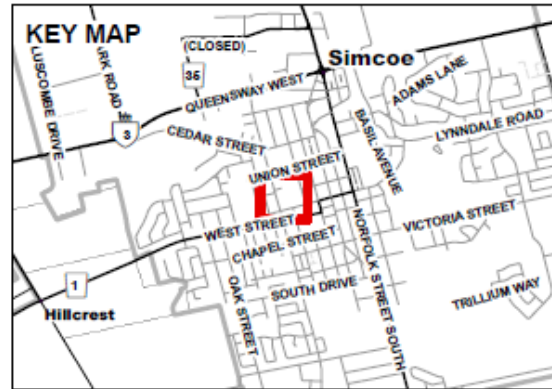
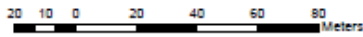
MAP 2

File Number: ZNPL2020244

Urban Area of
SIMCOE



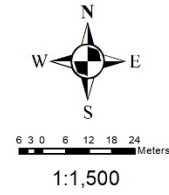
1:2,000



MAP 3

File Number: ZNPL2020244

Urban Area of SIMCOE

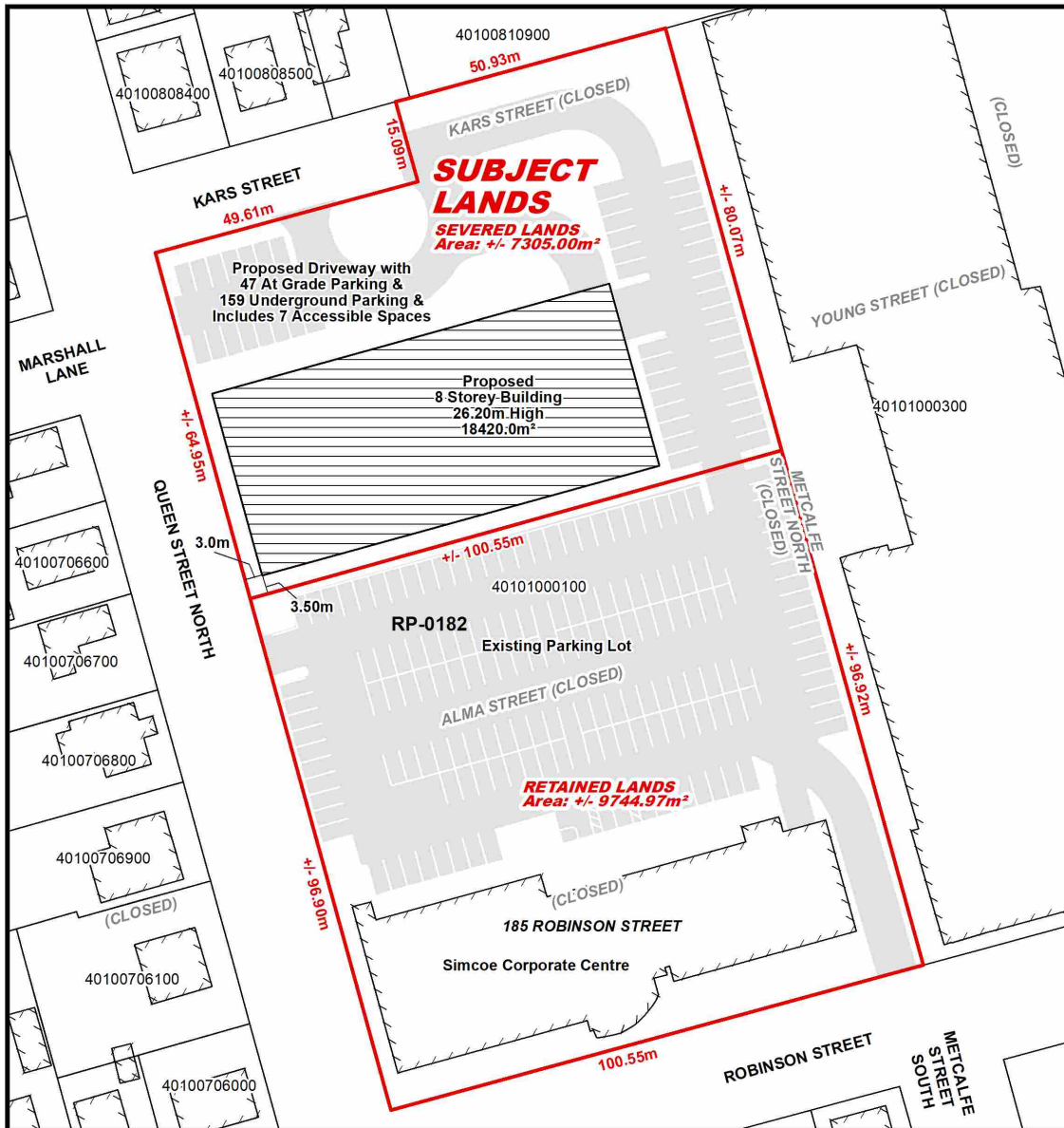


12/22/2020

MAP 4
File Number: ZNPL2020244
Urban Area of SIMCOE



4 2 0 4 8 12 16 Meters
1:1,000



APPROVED SITE PLAN(S)

Date: May 2013 File No. SPPL2012095

AGREEMENT INSTRUMENT NO: N/A
PURSUANT TO PED REPORT NO: PED-12-62
FILE: CNRPL201146 & ZN2011147
NAME: 2273925 ONTARIO INC.

- NOTES:
- This site plan does not provide relief from the provisions of any applicable by-law, code, rule, regulation or agreement.
 - Landscaping is to be in accordance with:
 - The approved site plan
 - The approved landscaping plan
 - Grading and drainage is to be in accordance with:
 - A separate approved plan
 - The approved drawing
 - Separate approved plans and permits may be required for water, sewer and utility hookups and access.

CONDITIONS:
Zoning By-law No. 2273925
Site Plan Approval applies to the following drawings:
Site Plan - SP1 (April 22, 2013)
Overall Site Plan - SP2 (April 22, 2013)
Landscape Plan - LP1 (April 15, 2013)
Grading Plan and Site Service Plan - AS1 (April 15, 2013)
Sign Plan - SP3 (April 2, 2013)
Site Plan Power - SP4 (April 2, 2013)

SIGNATURE: *Patricia Dufresne*
(Patricia Dufresne, M.C.I.P., R.P.P., E.C.D., C.P.M.T. - Ec. Dev. Professional)

ADJACENT BUILDING

PHASE 2 PHASE 1

METCALFE STREET NORTH 123348

7.3m WIDE
1st LIFT ASPHALT DRIVEWAY

178 SURFACE PARKING SPACES
INCLUDING 6 BARRIER FREE SPACES

EAST WING
COURTHOUSE
OFFICES ABOVE

ATRIUM
COMMON

3 STOREY
OFFICE / ASSEMBLY
RETAIL BUILDING

WEST WING
RESTAURANT/RETAIL
OFFICES ABOVE

ZONING BY-LAW SUMMARY
NORFOLK COUNTY COMPREHENSIVE ZONING BY-LAW
for
The Community of Simcoe, ON

PRELIMINARY REVIEW

GENERAL INFORMATION:	
ZONING	CBD-(H), R6, R6-(H)
LOT AREA	17,049 sqm (1.70 ha) 10,335 sqm (1.03ha) is portion for phase 1 6,714 sqm (0.67ha) is portion for phase 2

SECTION 4 - OFF STREET PARKING	REQUIRED	PROPOSED	COMPLY	NO COMPLY
4.1.3.(a) DIMENSIONS OF 90 DEGREE PARKING STALL	3.0m x 5.8m MN	---	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.1.4. WIDTH OF PARKING AISLE ADJACENT TO 90 DEGREE STALLS	3.3m x 5.8m MN	---	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.3.2. PARKING SPACES FOR THE HANDICAPPED TO BE PROVIDED AT A RATE OF ONE SPACE PER TWENTY REQUIRED SPACES.	600 Spaces Min	---	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.9. DIMENSIONS OF A PARKING SPACE FOR THE HANDICAPPED (90°)	3.7m x 5.8m MN	---	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.9.(cc) OFFICE	1 PARKING SPACE PER 30.0sqm OF USABLE FLOOR AREA	3,290.1sqm space = 110 Spaces Req'd	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.9.(gg) RESTAURANT	1 PARKING SPACE PER 10.0sqm OF USABLE FLOOR AREA	233.0sqm space = 24 Spaces Req'd	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.9.(qt) *OTHER NON-RESIDENTIAL USES* FOR COURTHOUSE USE	1 PARKING SPACE PER 35.0sqm OF USABLE FLOOR AREA	721.0sqm space = 21 Spaces Req'd	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.9.(sk) RETAIL	1 PARKING SPACE PER 30.0sqm OF USABLE FLOOR AREA	674.3sqm space = 23 Spaces Req'd	<input checked="" type="checkbox"/>	<input type="checkbox"/>
TOTAL REQUIRED PARKING SPACES	178	180	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SECTION 6.1 - CENTRAL BUSINESS DISTRICT ZONE	REQUIRED	PROPOSED	COMPLY	NO COMPLY
6.1.1. PERMITTED USES:	(oo) Office, all types (wv) Police Station (au) Restaurant (sd) Retail	(COURTHOUSE PROPOSED)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.1.2.(a) FRONT YARD	Nil	3.9m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.1.2.(b) EXTERIOR SIDE YARD	Nil	2.2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.1.2.(c) INTERIOR SIDE YARD	Nil	11.8m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.1.2.(d) REAR YARD	Nil	128.0m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.1.2.(e) BUILDING HEIGHT	6 STOREYS MAX	3 storeys	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.1.2.(g) MAXIMUM LOT COVERAGE	80% MAX	12.2%	<input checked="" type="checkbox"/>	<input type="checkbox"/>
BUILDING AREA	2074.7 SM			
ASPHALT AREA	6326.5 SM			
LANDSCAPED AREA	1933.3 SM			
LANDS LEFT FOR FUTURE PHASE 2	6714.5 SM			
TOTAL FLOOR AREA				
GROUND FLOOR	2,074.7 SM			
SECOND FLOOR	2,017.0 SM			
THIRD FLOOR	2,074.7 SM			
TOTAL	6,166.4 SM			

1 SITE PLAN
SP1 1:300

PHASE 2 PHASE 1
QUEEN STREET NORTH
QUEEN STREET NORTH

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECTS AND MUST BE RETURNED AT THE COMPLETION OF THE WORK
THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED "FOR CONSTRUCTION" MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS OR HER WORK.

KEY TO DETAIL LOCATION	DETAIL NUMBER	DRAWING SHEET NUMBER
No.		
No.		

BUILDING PERMIT NUMBER:
NOT FOR CONSTRUCTION WITHOUT PERMIT

PRINTS ISSUED	NO.	DATE (DD.MM.YY)	BY
FOR REVIEW	1	12-04-13	WH
FOR COORDINATION	1	12-04-24	WH
SITE PLAN / REZONING APP	2	12-04-27	WH
SITE PLAN APPLICATION	3	12-05-14	WH
SITE PLAN COMMENTS	4	12-06-08	WH
LANDSCAPE CHANGES PER OWNER LANDSCAPE ARCHITECT	5	12-07-03	WH
changes per board letter of July 9 2012	6	12-07-17	WH
with thesaid per dated 10th, 2012 status letter	7	12-12-13	WH
SITE PLAN RESUBMISSION	8	13-02-15	MB
SITE PLAN FINAL	9	13-03-22	MB
FOUNDATION PERMIT	10	04-04-13	MB

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

REVISIONS TO DRAWING	NO.	DATE (DD.MM.YY)	BY

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Commercial Realty Corporation, Brokerage

KNY
karp namisniak yamamoto
architects inc.

3190 Harvester Road, Suite 202
Burlington, ON L7N 3T1
p.905.639.6995
1.905.639.0394
Brandford p.519.753.4886
www.knyarchitects.com kny@knyarchitects.com

PROJECT NORTH

ASSOCIATION OF ARCHITECTS OF ONTARIO
STEPHAN NAMISNIAK
LICENCE 4473

NORFOLK COUNTY
COURTHOUSE
OFFICE
SIMCOE, ONTARIO

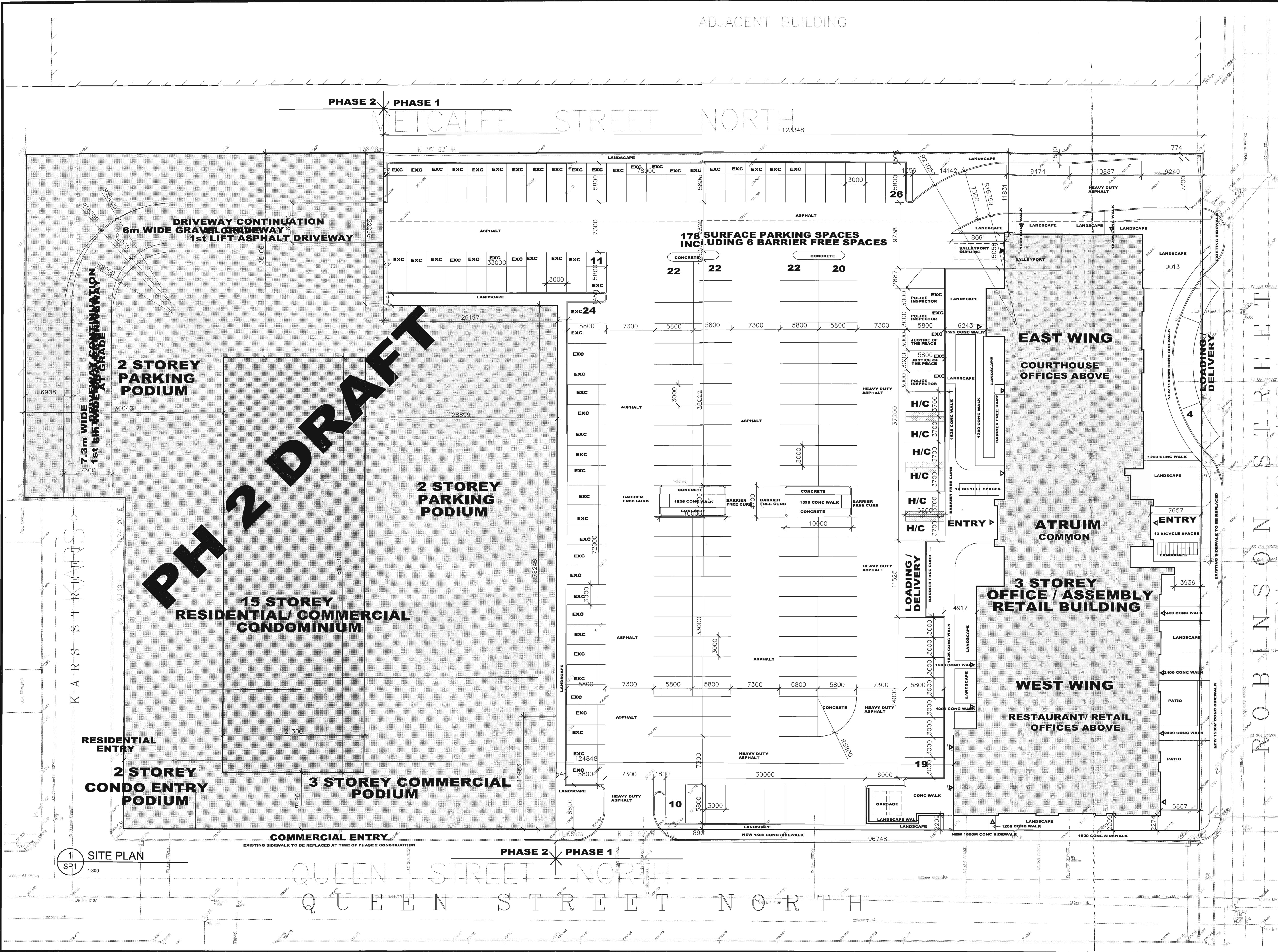
DRAWING SHEET TITLE:
SITE PLAN

DRAWING SCALE: 1:250	KNY PROJECT NUMBER: 11087
DRAWN BY: WH	DRAWING SHEET NUMBER: SP1
CHECKED BY: WH	
PLOT DATE: April 22, 2013	

ADJACENT BUILDING

PHASE 2 PHASE 1

METCALFE STREET NORTH 123348



CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECTS AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

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KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

BUILDING PERMIT NUMBER:
NOT FOR CONSTRUCTION WITHOUT PERMIT

PRINTS ISSUED	NO.	DATE (DD,MM,YY)	BY
FOR REVIEW	1	12-04-13	WH
FOR COORDINATION	1	12-04-24	WH
SITE PLAN / REZONING APP	2	12-04-27	WH
SITE PLAN RESUBMISSION	6	13-02-15	MB
SITE PLAN FINAL	9	13-03-22	MB

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

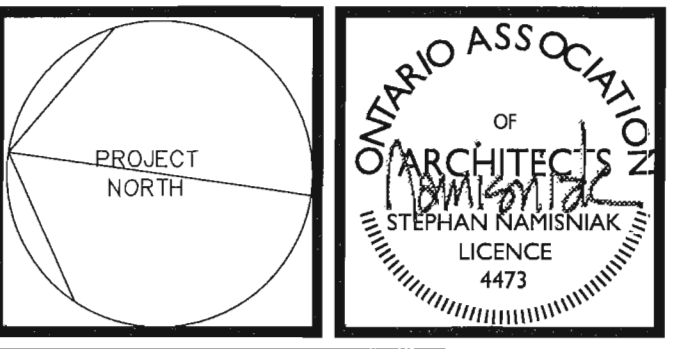
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3190 Hanover Road, Suite 202
Burlington, ON L7N 3T1
p.905.638.6595
f.905.639.0394
brantford p.519.753.4886

www.knyarchitects.com kny@knyarchitects.com



NORFOLK COUNTY COURTHOUSE OFFICE
SIMCOE, ONTARIO

DRAWING SHEET TITLE:
OVERALL SITE PLAN

DRAWING SCALE: 1:250
KNY PROJECT NUMBER: 11087

DRAWN BY: WH
CHECKED BY: WH
PLOT DATE: April 22, 2013
DRAWING SHEET NUMBER: SP2

1 SITE PLAN
SP1 1:300

QUEEN STREET NORTH
QUEEN STREET NORTH

PHASE 2 PHASE 1

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK
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 THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED 'FOR CONSTRUCTION' MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS OR HER WORK

KEY TO DETAIL LOCATION
 No. DETAIL NUMBER
 No. DRAWING SHEET NUMBER

BUILDING PERMIT NUMBER:
 NOT FOR CONSTRUCTION WITHOUT PERMIT

PRINTS ISSUED FOR SITEPLAN APPROVAL APPLICATION	No.	DATE (DD,MM,YY)	BY
1	1	14.05.12	GD
2	2	15.02.13	MB

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

REVISIONS TO DRAWING	No.	DATE (DD,MM,YY)	BY
NOT FOR CONSTRUCTION			

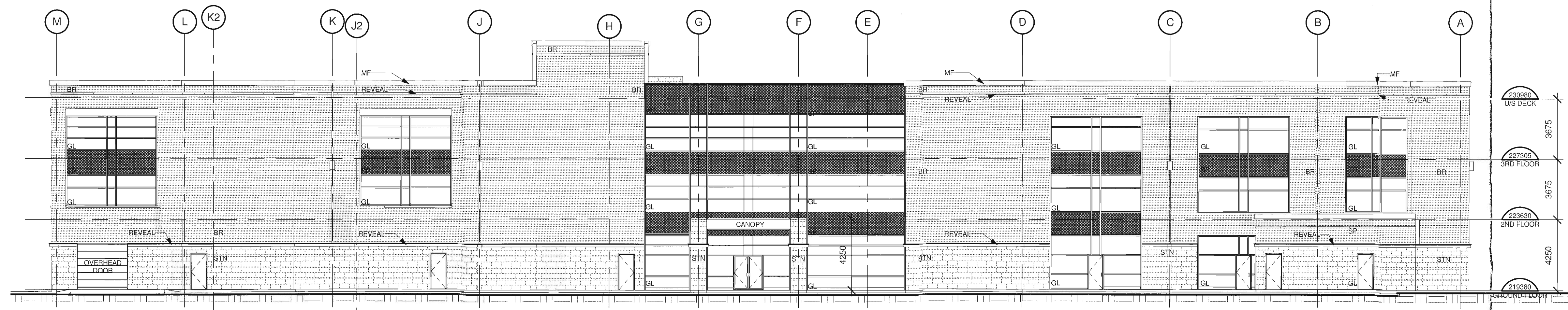
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 Burlington, ON L7N 8T1
 p.905.639.6995
 f.905.639.0294
 Brantford p.519.753.4888
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ONTARIO ASSOCIATION OF ARCHITECTS
 OF ARCHITECTS
 STEPHAN NAMISNIAK
 LICENCE 4473

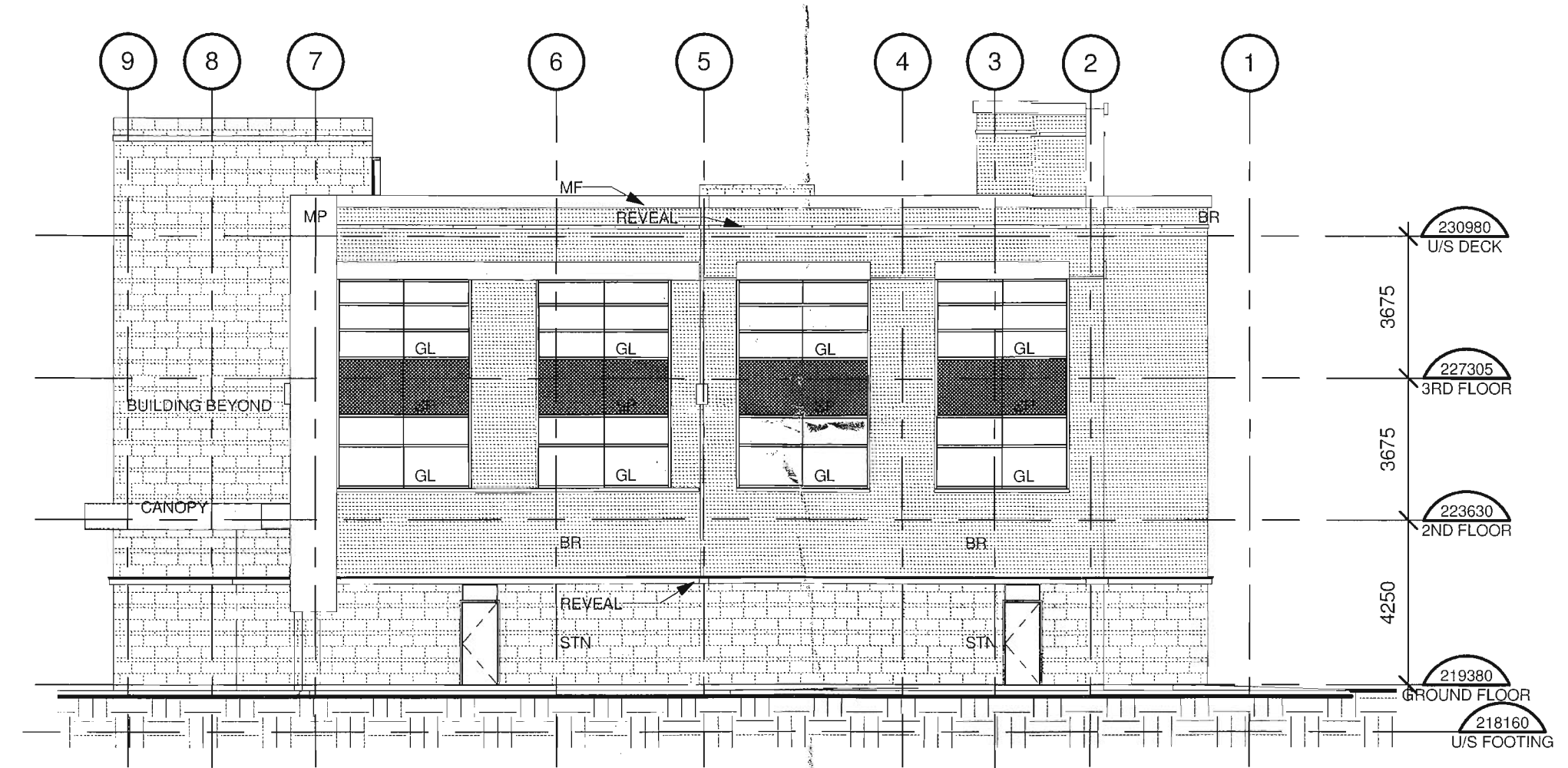
MUNICIPAL OFFICES & COURTHOUSE
 NORFOLK COUNTY
 SIMCOE, ONTARIO

DRAWING SHEET TITLE:
 ELEVATIONS

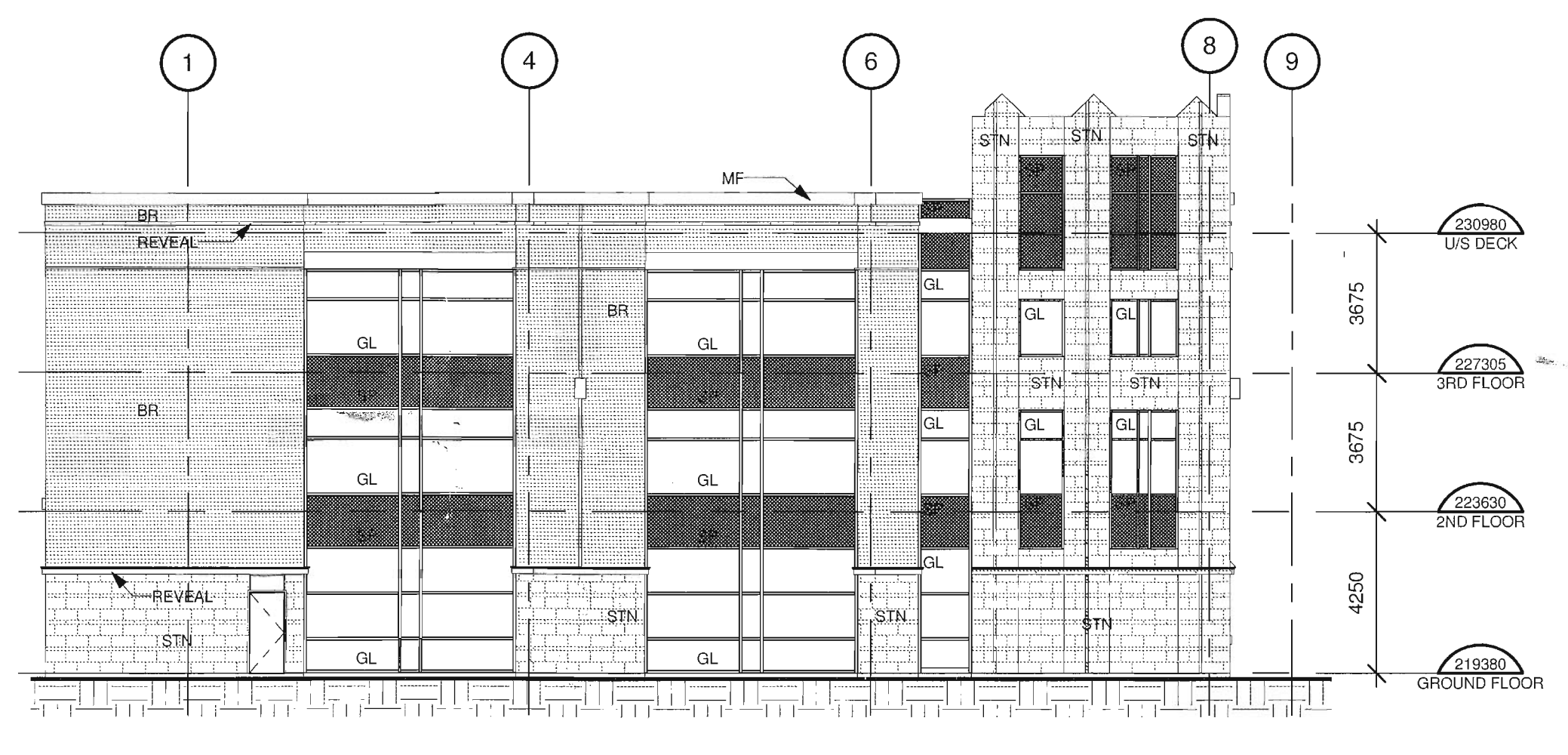
DRAWING SCALE: As indicated
 ANY PROJECT NUMBER: 11087
 DRAWN BY: GD
 ISSUED DATE: APRIL 20 12
 FLOI DATE: APRIL 20 12
 DRAWING SHEET NUMBER: A400



1 NORTH ELEVATION
 A400 1:150



2 EAST ELEVATION
 A400 1:150

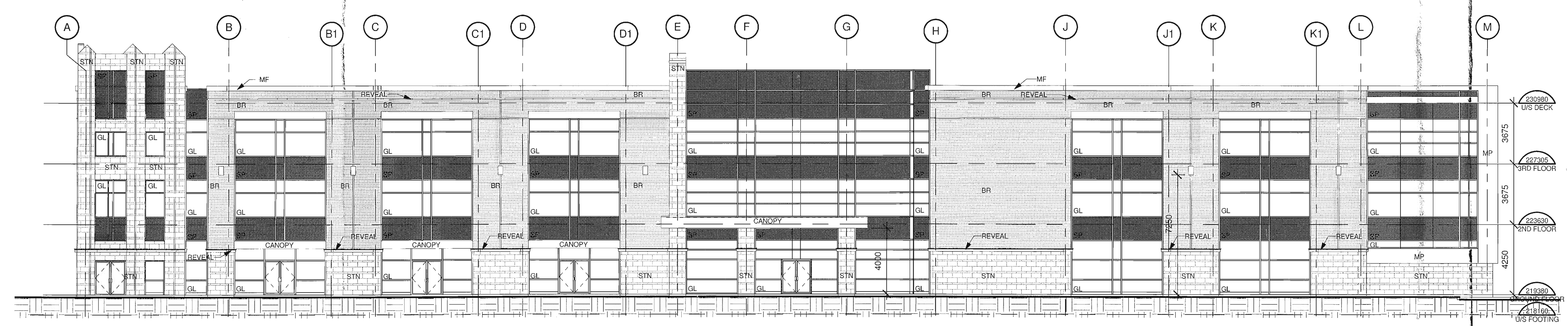


3 WEST ELEVATION
 A400 1:150

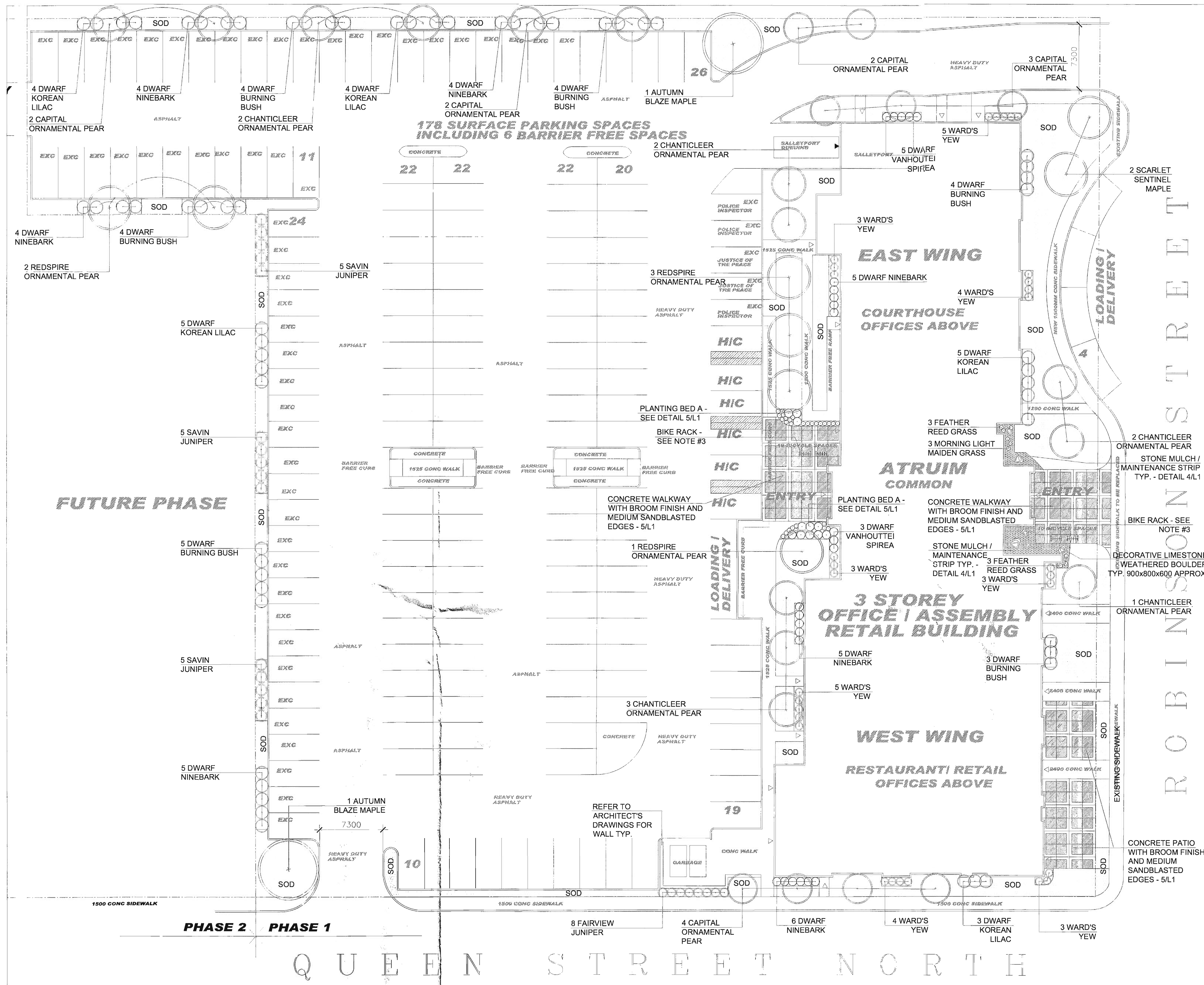
LEGEND

- GL GLAZING PANEL
- SP SPANDREL PANEL
- MF METAL FLASHING
- MP METAL PANEL
- BR BRICK
- STN STONE

NOTE: BALCONIES, COLUMNS TO BE STUCCO COLOUR 1



4 SOUTH ELEVATION
 A400 1:150



1 LANDSCAPE PLAN
L1 1:250

PLANT SCHEDULE - LANDSCAPE PLAN

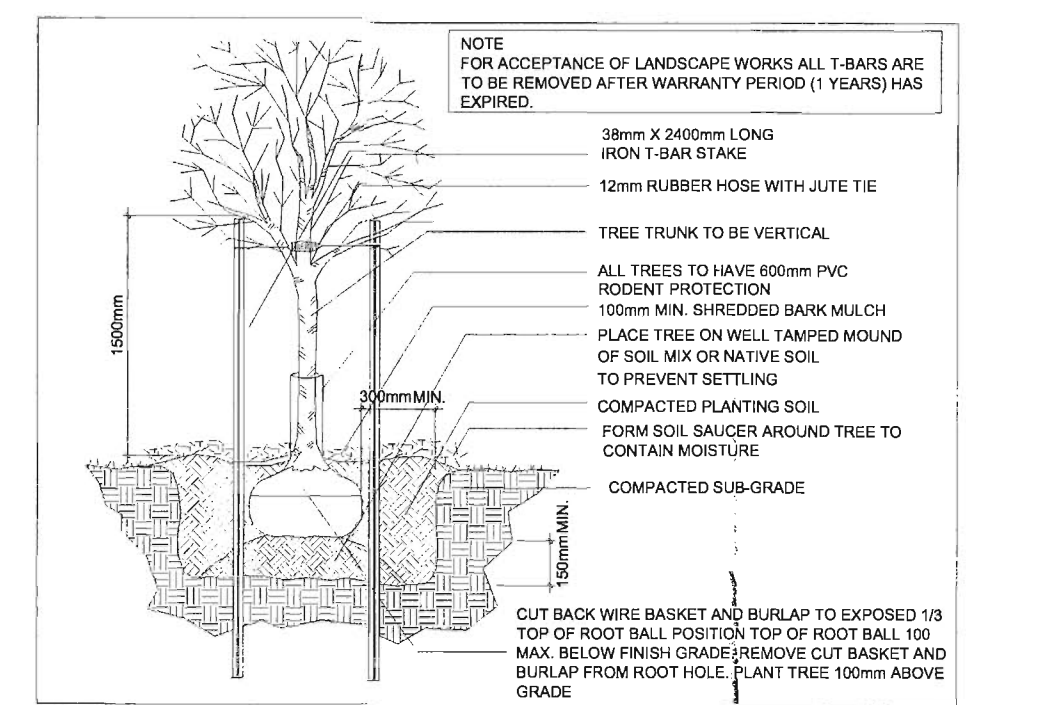
QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
2	ACER x FREEMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	60mm	WB
2	ACER x FREEMANII 'SCARSEN'	SCARLET SENTINEL MAPLE	60mm	WB
8	JUNIPERUS CHINENSIS 'FAIRVIEW'	FAIRVIEW JUNIPER	150cm	WB
13	PYRUS CALLERYANA 'CAPITAL'	CAPITAL ORNAMENTAL PEAR	60mm	WB
10	PYRUS CALLERYANA 'GLEN'S FORM'	CHANTICLEER ORNAMENTAL PEAR	60mm	WB
6	PYRUS CALLERYANA 'REDSPIRE'	REDSPIRE ORNAMENTAL PEAR	60mm	WB

PLANT SCHEDULE - LANDSCAPE PLAN - CONT.

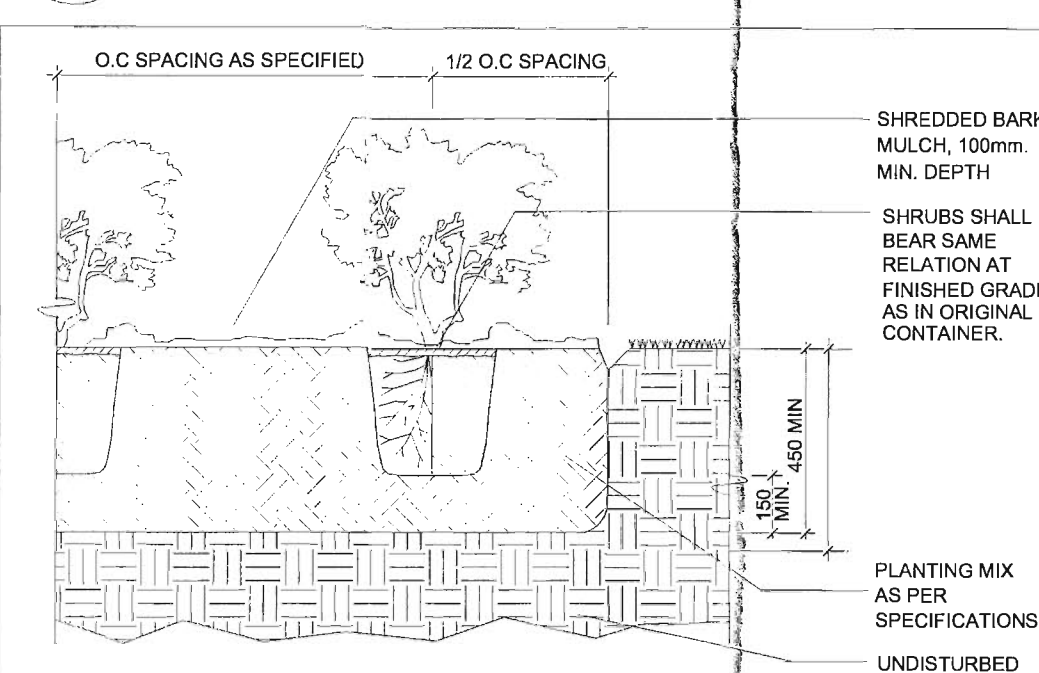
QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
24	EUONYMUS ALATUS 'COMPACTUS'	DWARF BURNING BUSH	60cm	POTTED
15	JUNIPERUS SABINA	SAVIN JUNIPER	60cm	POTTED
33	PHYSOCARPUS OPULIFOLIUS 'NANUS'	DWARF NINEBARK	60cm	POTTED
8	SPIRAEA TRILOBATA	DWARF VANHOUTTEI SPIREA	60cm	POTTED
11	SPIRAEA x 'GOLD MOUND'	GOLD MOUND SPIREA	60cm	POTTED
21	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	60cm	POTTED
30	TAXUS CUSPIDATA 'WARDII'	WARD'S YEW	50cm	POTTED

PLANT SCHEDULE - LANDSCAPE PLAN - CONT.

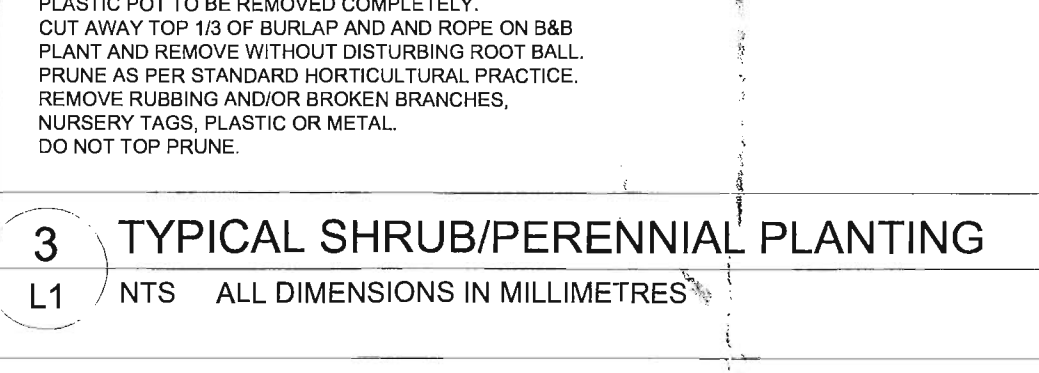
QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
18	CALAMAGROSTIS x ACUTIFOLIA 'KARL FOERSTER'	FEATHER REED GRASS	1GAL	POTTED
9	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1GAL	POTTED
8	HOSTA 'HALCYON'	HALCYON HOSTA	1GAL	POTTED
3	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	1GAL	POTTED



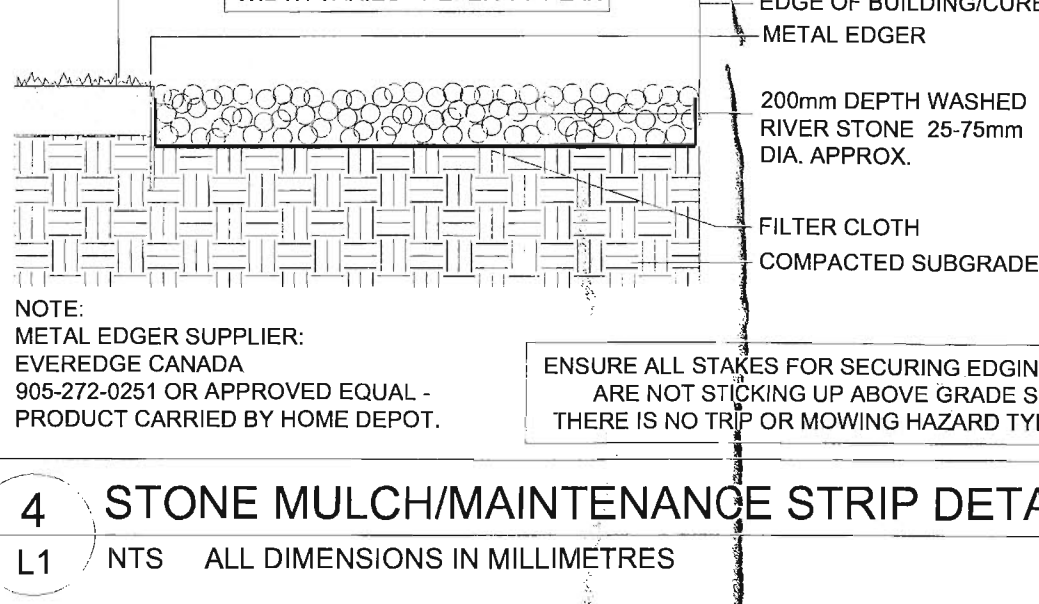
2 TYPICAL DECIDUOUS TREE PLANTING
L1 NTS ALL DIMENSIONS IN MILLIMETRES



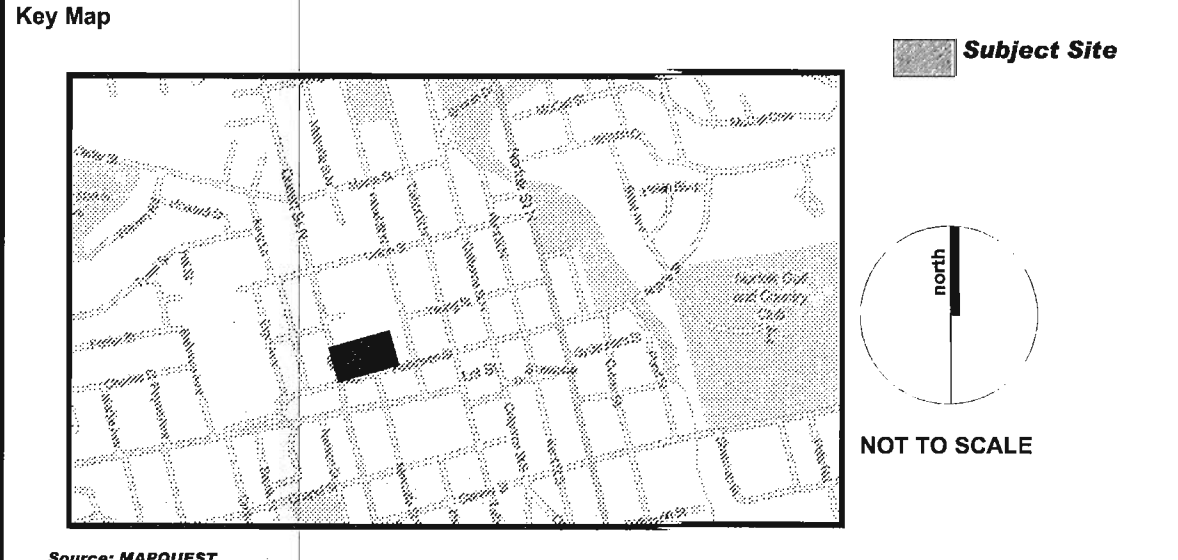
3 TYPICAL SHRUB/PERENNIAL PLANTING
L1 NTS ALL DIMENSIONS IN MILLIMETRES



4 STONE MULCH/MAINTENANCE STRIP DETAIL
L1 NTS ALL DIMENSIONS IN MILLIMETRES



5 PLANTING BED A
L1 1:100



Legend

- PROPOSED DECIDUOUS TREES/SHRUBS
- PROPOSED CONIFEROUS TREES/SHRUBS
- DECORATIVE WEATHERED LIMESTONE BOULDERS 900x800x600mm APPROX.
- PROPOSED SOD c/w 150mm TOPSOIL
- STONE MULCH / MAINTENANCE STRIP

NOTES:

- ALL LAWN AREAS DISTURBED DURING CONSTRUCTION ARE TO BE RESTORED WITH 150mm TOPSOIL AND SOD TYP.
- ENSURE ALL 3:1 SLOPES OR GREATER TO BE SODDED THAT THE SOD IS STAKED.
- SPECIFIED BIKE RACK SUPPLIER:** MBR402 BIKE RACK, QUANTITY: 4, COLOUR: BLACK, BY MAGLIN SITE FURNITURE 1-800-716-5506 OR APPROVED EQUAL. SPECIFY SURFACE MOUNT WHEN ORDERING. CONTRACTOR TO BOLT TO CONCRETE PAD/SIDEWALK USING RUST RESISTANT HARDWARE. INSTALL AS PER SUPPLIER'S SPECIFICATIONS. LOCATION AS PER L1 PLAN.
- ALL PLANTING BEDS SHALL BE CONTINUOUS 450mm DEPTH PLANTING SOIL C/W 100mm DEPTH SHREDDED BARK MULCH TYP.
- ANY PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT VARIETIES INSTALLED WITHOUT PRIOR APPROVAL MAY BE REJECTED.
- ALL BASE INFORMATION PROVIDED BY KNY ARCHITECTS INC.

Rev. Date Issued / Revision By

8.	04/10/2013	RE-ISSUED FOR SPA	JL
7.	03/13/2013	RE-ISSUED FOR SPA	JL
6.	03/12/2013	ISSUED FOR CLIENT REVIEW	JL
5.	02/07/2013	RE-ISSUED FOR SPA	JL
4.	01/07/2013	UPDATE WITH REVISED SITE PLAN FOR RESUBMISSION	JL
3.	08/13/2012	RE-ISSUED FOR SPA	JL
2.	07/04/2012	ISSUED FOR SPA	JL
1.	06/22/2012	ISSUED FOR CLIENT REVIEW	JL

Rev. Date Issued / Revision By

8.	04/10/2013	RE-ISSUED FOR SPA	JL
7.	03/13/2013	RE-ISSUED FOR SPA	JL
6.	03/12/2013	ISSUED FOR CLIENT REVIEW	JL
5.	02/07/2013	RE-ISSUED FOR SPA	JL
4.	01/07/2013	UPDATE WITH REVISED SITE PLAN FOR RESUBMISSION	JL
3.	08/13/2012	RE-ISSUED FOR SPA	JL
2.	07/04/2012	ISSUED FOR SPA	JL
1.	06/22/2012	ISSUED FOR CLIENT REVIEW	JL

PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE
MHBC
 300-540 BUCKINGHAM CENTRE DR. LUTHERBURG, ON. N2B 2N7 | P: 519.574.3531 F: 519.574.0121 | WWW.MHBCPLAN.COM

Stamp

Date: JUNE 21, 2012
 Drawn By: J.L.
 Plan Scale: 1:250 (OR AS NOTED)
 File No.: 1273A
 Checked By: J.L.

Project

MUNICIPAL OFFICES & COURTHOUSE
 NORFOLK COUNTY,
 SIMCOE, ONTARIO

Dwg Name LANDSCAPE PLAN
Dwg No. L1

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GENERAL NOTES

- PRIMARY UNITS ARE METRIC. DIMENSIONS ARE METERS.
- PROVIDE EROSION CONTROL MEASURES TO TAKE PLACE. BEST CONTROL (E.G. SILT FENCING AROUND ALL CONSTRUCTION AREAS) ARE TO BE IN PLACE FROM THE START OF THE WORK AND MAINTAINED FOR THE DURATION OF CONSTRUCTION (SEE FINISH TO BE PROPOSED SIZES OF 1.8m DEPTH BY 0.6m HIGH FENCING, AS PER OPSD 218.10).
- ROADS AND ANY OTHER SERVICES TO BE REMOVED OR DISCONNECTED TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- ALL NECESSARY RECONSTRUCTION OF REMOVED SERVICES (SANITARY SEWER, WATER, GAS, ELEC., ETC.) ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- ANY FILL PLACED ON SITE MUST BE COMPACTED TO A MIN. 95% STANDARD PROCTOR DENSITY.
- ALL EXISTING SERVICES TO BE REMOVED OR DISCONNECTED BY THE CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE NECESSARY PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - UTILITY PERMITS
 - RELOCATION OF SERVICES
- MATERIAL LENGTHS REQUIRED TO COMPLETE WORK SHOULD BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL EXISTING SERVICES TO BE REMOVED OR DISCONNECTED BY THE CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE NECESSARY PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - UTILITY PERMITS
 - RELOCATION OF SERVICES
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE NECESSARY PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - UTILITY PERMITS
 - RELOCATION OF SERVICES
- ANY LANDSCAPED OR GRADED AREA NOT IN THE AREA OF PROPOSED DEVELOPMENT WHICH IS DAMAGED OR IMPACTED DURING THE COURSE OF CONSTRUCTION, OR SITE DEVELOPMENT ARE TO BE PROPERLY REPAIRED, AND RE-SEEDING.
- ANY DISCREPANCIES BETWEEN INFORMATION ON THIS DRAWING AND ACTUAL FIELD CONDITIONS, WHICH MAY IMPACT ON THE PROPOSED DEVELOPMENT, ARE TO BE REPORTED TO THE DESIGN CONSULTANT / ENGINEER.
- EXISTING 200mm WATER SERVICE AND VALVE TO BE REMOVED ON ROBINSON STREET AND TWO 150mm WATER SERVICES ON QUEEN STREET REMOVED. WHEN DISCONNECTED MUST BE DONE AT THE BOTTOM AND BURNED. CONTRACTOR MUST HAVE NORFOLK COUNTY PERMANENT DISCONNECTION PERMITS AND INSPECTIONS FINISHED BY NORFOLK COUNTY. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY DISCONNECTION PERMITS FINISHED BY COUNTY STAFF.
- WHERE COVER OVER SERVICE PIPING DOES NOT EXCEED 1.5m, ROAD INSULATION IS REQUIRED TO BE PLACED. USE 1" (25mm) ROAD STRENGTH INSULATION. INSULATION MUST EXTEND 0.5m EACH WAY HORIZONTAL FROM CENTER LINE OF PIPE AND INSTALLED VERTICALLY ON EACH SIDE OF PIPE.
- TEMP 1 (SEE BENCHMARK) IS LOCATED AT THE TOP OF THE EXISTING SANITARY MANHOLE #1. ELEVATION: 217.30m.
- TEMP 2 (SEE BENCHMARK) IS LOCATED AT THE TOP OF THE EXISTING SANITARY MANHOLE #2. ELEVATION: 218.30m.
- PROVISIONS AND ASSUMPTIONS ARE REQUIRED TO BE MADE FOR AN EASEMENT FOR THE EXISTING 150mm & 400mm SANITARY MAIN CROSSING THE SUBJECT PROPERTY FROM WEST TO EAST.
- IN RESPONSE TO THE GENERAL NOTES & A 15. ALL DISCONNECTIONS MUST BE COMPLETED, INSPECTED AND ALL RESTORATION APPROVED WITHIN 3 MONTHS AFTER RESUMPTION OF BUILDING PERMITS.
- CONTRACTOR RESPONSIBLE FOR LAND WEATHERING MUST BE INSTALLED AND HAVE A REQUIRED BACKFILL PROVIDED INSTALLED.
- A MAINTENANCE SCHEDULE FOR THE STORMWATER MUST BE IMPLEMENTED. THE MAINTENANCE AND MONITORING IS RESPONSIBILITY OF OWNER.
- AN ENGINEER IS REQUIRED TO BE ON SITE FOR ALL UNDERGROUND WORK.
- ALL REQUIRED SITE RESTORATION (E.G. PLACEMENT AND COMPACTING OF ENGINEERED FILL) TO BE AS PER INSTRUCTIONS BY LAW ENGINEERING (GEOTECHNICAL ENGINEER) (INCLUDING BUILDING AREA AND ASPHALT AREAS).

STORMWATER MANAGEMENT NOTE

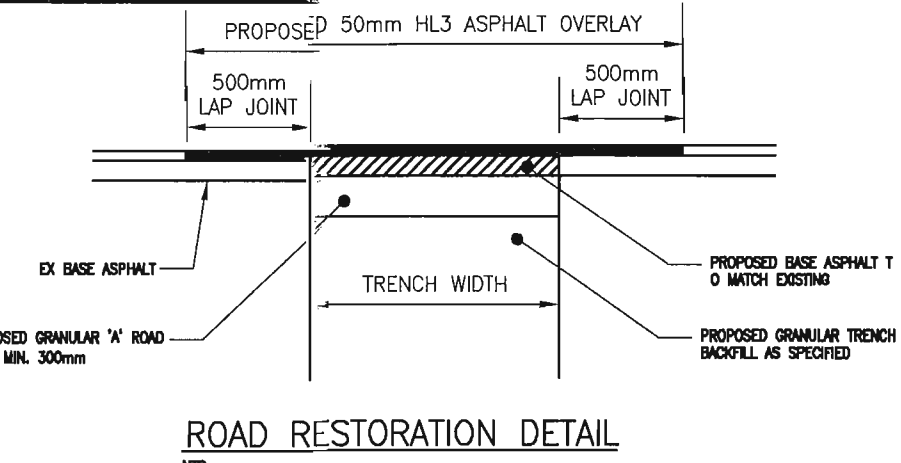
REFERENCE TO THE WATER BREATHER (NO ENGINEERING, MARCH 2012) THE ASSUMPTION IS NOT EXPLODED TO INCREASE UNDER THE POST DEVELOPMENT SITE CONDITION. NO STORM WATER QUANTITY CONTROL IS PROPOSED.

EXISTING SERVICE NOTE

ALL OF THE EXISTING WATER AND SANITARY SERVICES TO THE SUBJECT PROPERTY MUST BE DISCONNECTED AT THE MAIN PRIOR TO SITE PLAN APPROVAL. THE METHOD OF DISCONNECTING IS TO BE APPROVED BY NORFOLK COUNTY (ENVIRONMENTAL SERVICES). THIS IS PART OF THE DISCONNECTION PERMITS REQUIREMENTS. A VIDEO INSPECTION IS REQUIRED OF THE EXISTING SANITARY SEWER MAIN ON ROBINSON STREET AND QUEEN STREET.

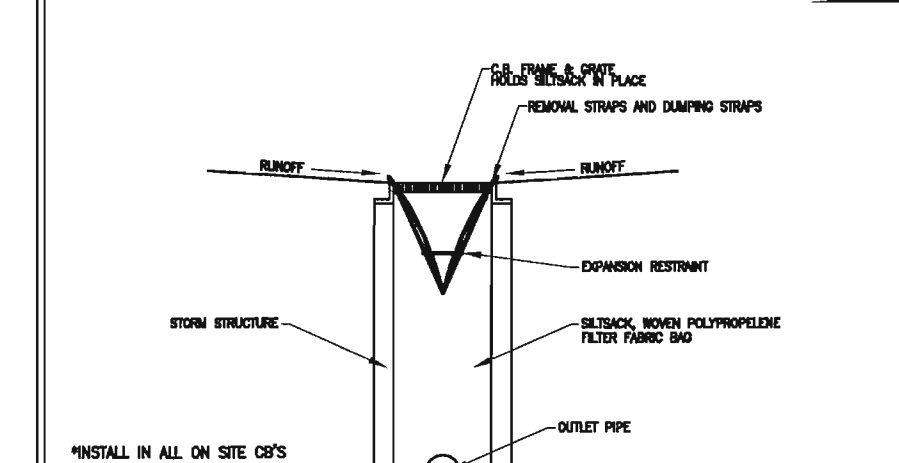
GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- UNLESS OTHERWISE INDICATED, ALL VEGETATION AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONTRACTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE COUNTY.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
- SILT FENCING AS PER OPSD 218.10.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE COUNTY.
- ALL DISTURBED AREAS ARE TO BE SOAKED TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH RAINFALL.
- ALL AREAS OF WORK SHALL REMAIN DISTURBED FOR A PERIOD OF THIRTY DAYS OR MORE MUST BE STABILIZED TO THE SATISFACTION OF THE COUNTY.
- ALL MATERIAL STOCKPILES ARE TO BE COVERED WITHIN THE BOUNDARY OF THE BARRICADE SILT FENCE. ADDITIONAL SILT FENCE IS TO BE INSTALLED AROUND ANY PROPOSED STOCKPILE.
- CHURN DRUMS TO HAVE SILT TRAPS INSTALLED FOR THE DURATION OF CONSTRUCTION. REFERENCE DETAIL ON THIS PAGE.



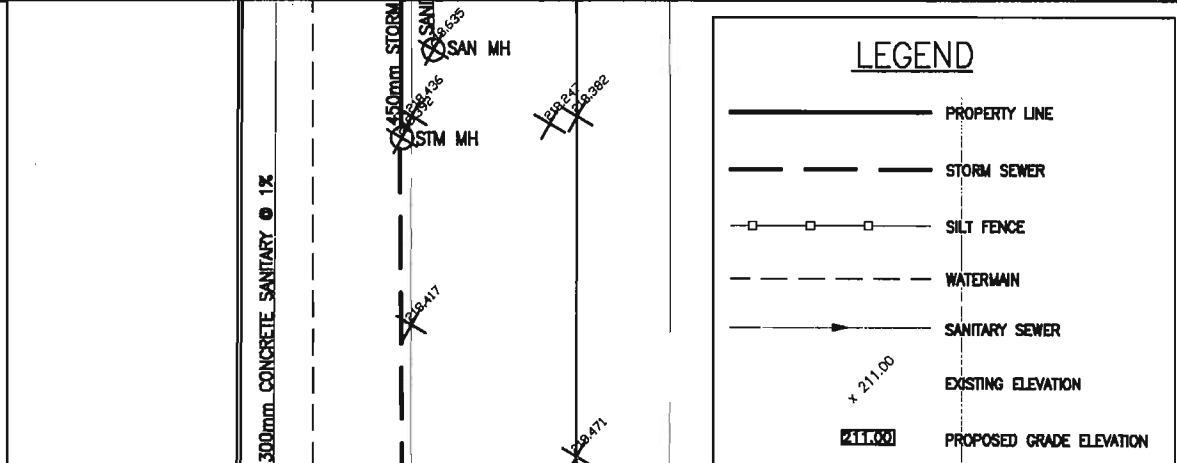
ROAD RESTORATION NOTES

- CONTRACTOR TO OBTAIN ALL NECESSARY ROAD CUT PERMITS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO MAINTAIN A MINIMUM OF ONE LANE OF TRAFFIC AT ALL TIMES. IF TEMPORARY ROAD CLOSURES ARE NECESSARY, THEY MUST BE APPROVED BY THE COUNTY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL UTILITIES (ALL UTILITIES WHETHER LISTED ON THIS DRAWING OR NOT).
- ALL CUTS TO EXISTING ASPHALT AND CONCRETE SHALL BE CLEAN SHOT CUTS ONLY.
- SAMPLES FOR ALL SERVICE TRENCHES WITHIN ROADWAY SHALL BE AS PER DETAIL ON THIS DRAWING.
- SAMPLES FOR ALL SERVICE TRENCHES FROM EDGE OF ASPHALT TO BACK OF SIDEWALK SHALL BE DRAW 'Y' MATERIAL.
- ALL SIDING AND SHOULDER SHALL BE COMPACTED TO 95%.
- ROADWAY RESTORATION SHALL BE AS PER DETAIL ON THIS DRAWING.
- CURBS AND SIDEWALKS SHALL BE RESTORED TO MATCH EXISTING CONDITIONS TO THE SATISFACTION OF THE COUNTY.
- ALL SIDEWALKS SHALL BE RESTORED WITH 1.5m WIDE CONCRETE SIDEWALK 150mm TYPICAL TO THE SATISFACTION OF THE COUNTY.
- ROADSIDE DITCHES AND CULVERTS TO BE RESTORED TO PREVIOUS CONDITION.



TEMPORARY SILTSACK SILTATION CONTROL (FILTER FABRIC BAG IN CB)

- INSTALL IN ALL ON SITE CUTS.
- REMOVE SILTSACKS FROM BOTH DAMPING STRIPS.
- REMOVE STRIPS AND DAMPING STRIPS.
- INSTALL IN ALL ON SITE CUTS.
- REMOVE SILTSACKS FROM BOTH DAMPING STRIPS.
- REMOVE STRIPS AND DAMPING STRIPS.
- INSTALL IN ALL ON SITE CUTS.
- REMOVE SILTSACKS FROM BOTH DAMPING STRIPS.
- REMOVE STRIPS AND DAMPING STRIPS.
- INSTALL IN ALL ON SITE CUTS.
- REMOVE SILTSACKS FROM BOTH DAMPING STRIPS.
- REMOVE STRIPS AND DAMPING STRIPS.



LEGEND

- PROPERTY LINE
- STORM SEWER
- SILT FENCE
- WATERMAIN
- SANITARY SEWER
- EXISTING ELEVATION
- PROPOSED GRADE ELEVATION

CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH THE WORK.

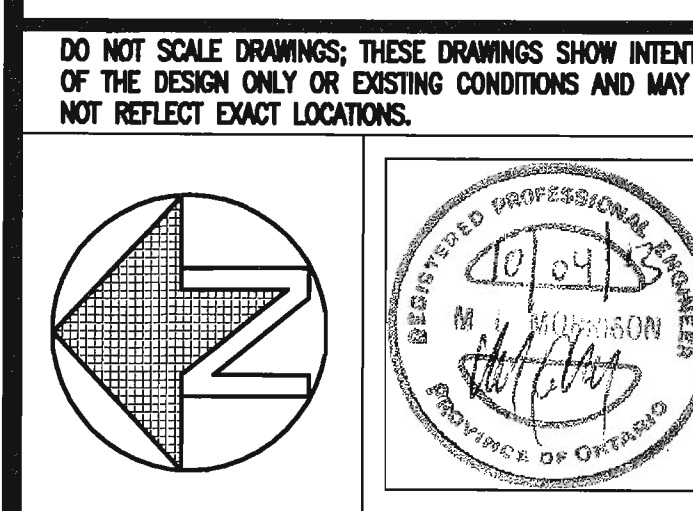
- ISSUED FOR REVIEW
- ISSUED FOR TENDER
- ISSUED FOR PERMIT
- ALL DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY THE CONSULTANT.

SIGNATURE _____ DATE _____

THE FOLLOWING DRAWINGS AND NOTES TO BE CONSIDERED AS PART OF THE CONSTRUCTION DRAWINGS:
-PRIMARY SCALE IS METRIC
-SEE NOTES

NO.	REVISION	DESCRIPTION	DATE	BY
10		ISSUED FOR REVIEW	APRIL 18 2013	
9		RENDED AS PER ADDITIONAL NORFOLK COUNTY COMMENTS RECEIVED APRIL 4, 2013	APRIL 8 2013	
8		ISSUED FOR REVIEW (rev. water service also)	MARCH 23 2013	
7		ISSUED FOR REVIEW	MARCH 19 2013	
6		ISSUED FOR REVIEW	MARCH 12 2013	
5		ISSUED FOR REVIEW	FEB 14 2013	
4		ISSUED FOR REVIEW	AUG 18 2012	
3		ISSUED FOR PERMIT	MAY 7 2012	
2		PRELIMINARY REVIEW	APRIL 2 2012	
0		PRELIMINARY REVIEW	MARCH 24 2012	

DO NOT SCALE DRAWINGS; THESE DRAWINGS SHOW INTENT OF THE DESIGN ONLY OF EXISTING CONDITIONS AND MAY NOT REFLECT EXACT LOCATIONS.



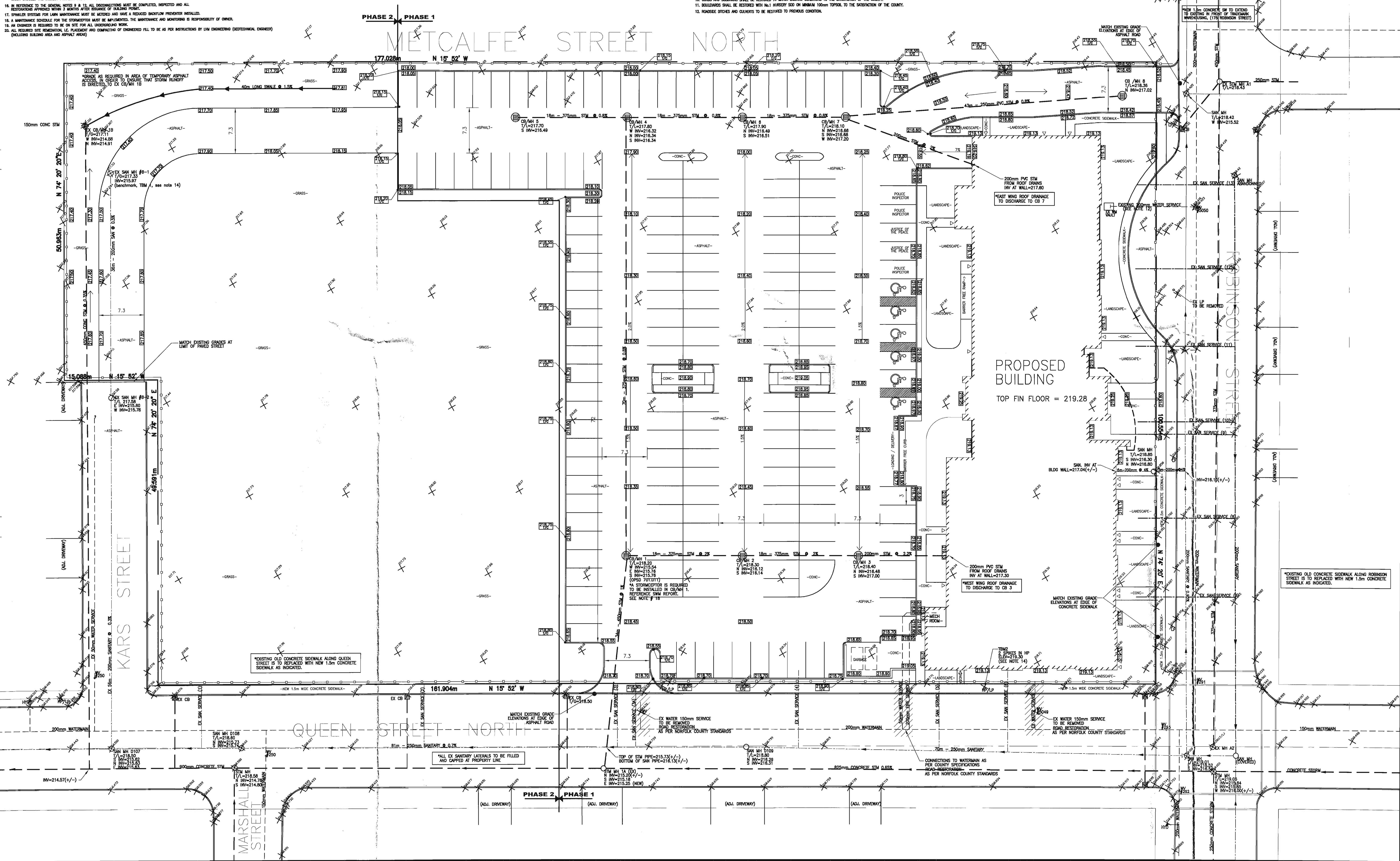
M C ENGINEERING P.O. Box 1002, Simcoe, Ont. N3Y 5B3
Tel: 519-428-6790 Fax: 519-428-8960
E-mail: mc@mc.com
A DIVISION OF 392583 ALTA LTD.

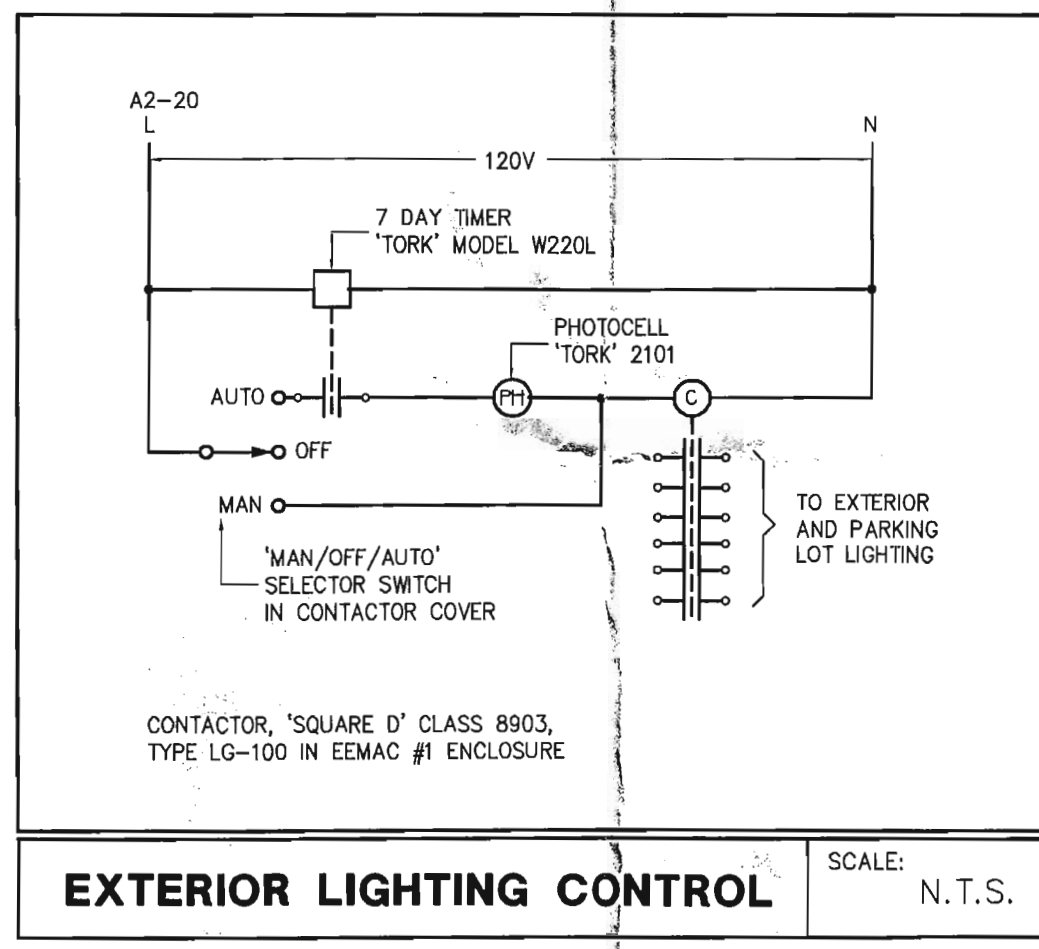
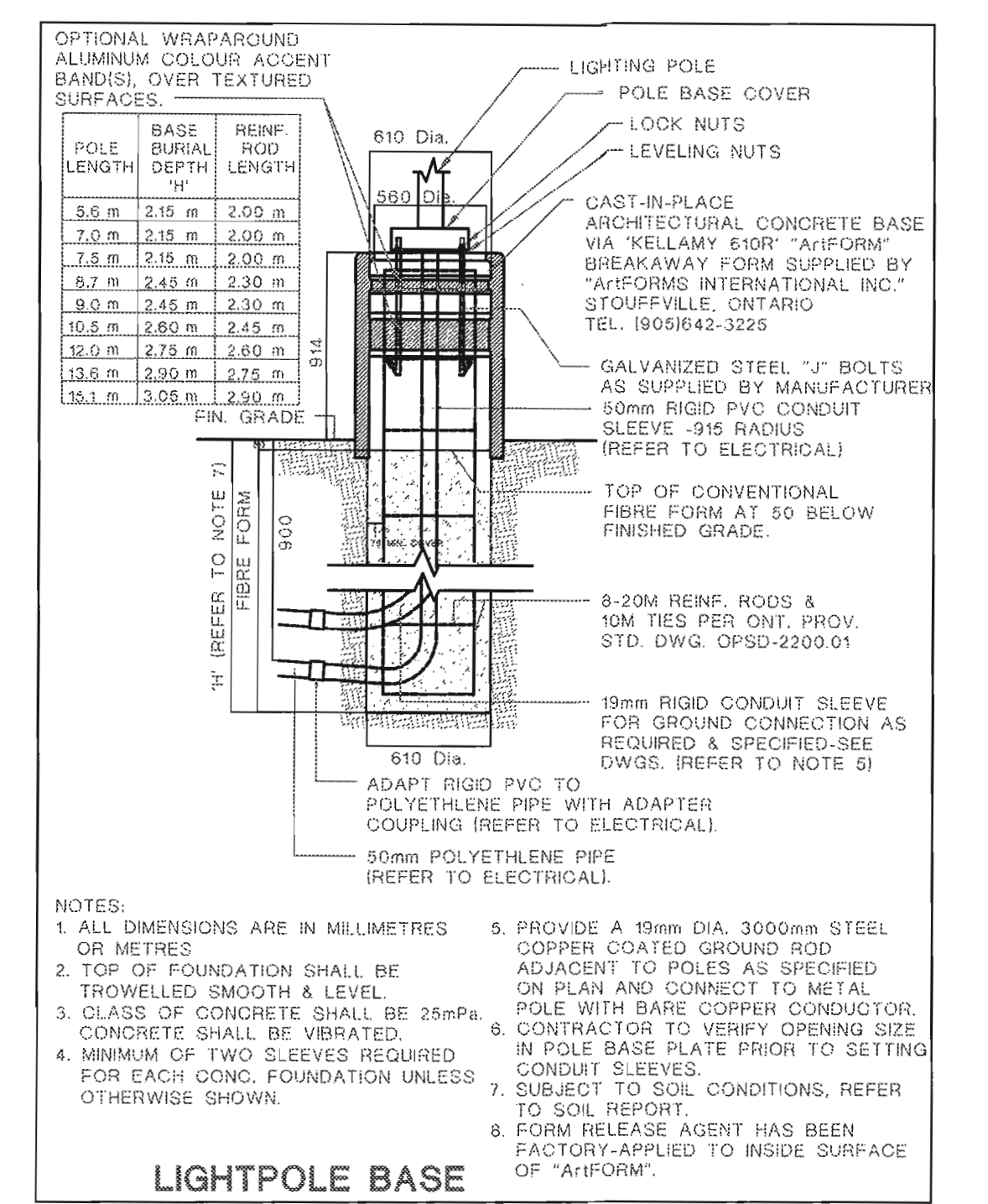
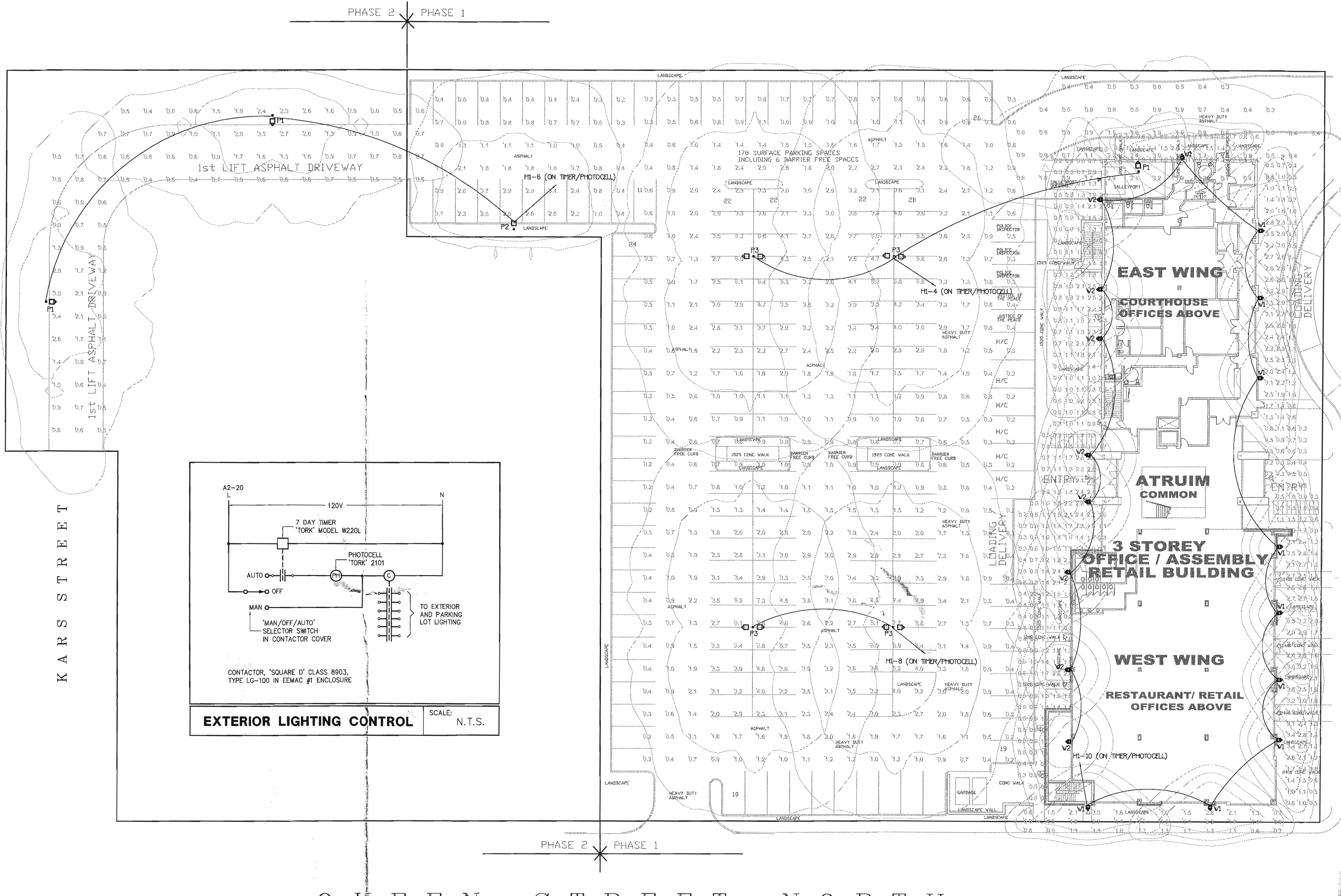
PROJECT NAME
GRADING PLAN & SITE SERVICE PLAN
NORFOLK COUNTY ADMINISTRATION OFFICE
ROBINSON STREET & QUEEN STREET
SIMCOE, ON

SHEET TITLE
GRADING PLAN AND SITE SERVICE PLAN

SCALE 1:300
DRAWN BY R.MORRISON
CHECKED BY M.E.M.
DATE MAR 2013
FILE NAME 4880

PROJECT NO. 4880
DWG. NO. A1
REV. NO. 10





EXTERIOR LIGHTING CONTROL SCALE: N.T.S.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CENTRAL PARKING	+	2.0 fc	8.0 fc	0.2 fc	40:0.1	10:0.1
GRAVEL DRIVEWAY	+	1.1 fc	3.4 fc	0.3 fc	11:3.1	3:7.1
NORTH WEST CORNER PARKING	+	1.3 fc	3.7 fc	0.2 fc	18:5.1	6:5.1
TOP RIGHT HAND AREA	+	1.0 fc	3.0 fc	0.3 fc	10:0.1	3:3.1

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EAST WING END	+	1.2 fc	3.1 fc	0.4 fc	7:8.1	3:0.1
ROBINSON ST SIDE	+	1.8 fc	3.8 fc	0.2 fc	19:0.1	9:0.1
SOUTH WEST WING	+	1.4 fc	3.0 fc	0.8 fc	5:0.1	2:3.1
WEST SIDE BUILDING	+	1.2 fc	2.8 fc	0.2 fc	14:0.1	6:0.1

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
W1	10	LITHONIA WSR LED 1 10A70040K SR2 MVOLT	WSR LED WITH 1 MODULE, 10 LED's, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 2 LENS MOUNTED +12 AFG.	1. LUMINAIRE OUTPUT: 1994 Lms	WSR_LED_1_10A700_40K_SR2_MVOLT.es	Absolute	0.95	24.1	
W2	8	LITHONIA WSR LED 1 10A70040K SR3 MVOLT ELCW	WSR LED WITH 1 MODULE, 10 LED's, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 3 LENS, Operating in emergency mode MOUNTED +12 AFG.	Outdoor Wall Pack Luminaire to IES LM-79-08 LUMINAIRE OUTPUT: 2000 Lms	WSR_LED_1_10A700_40K_SR3_MVOLT_ELCW.es	Absolute	0.95	24.2	

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
P3	4	LITHONIA MR2 250M SR3 (PULSE START)	ARCHITECTURAL AREA LUMINAIRE, 250W Metal Halide, SR3 Reflector, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 250-WATT ED28 PULSE START METAL HALIDE, HORIZONTAL POS.	MR2_250M_SR3_PULSE_START.es		22000	0.72	576
P2	1	LITHONIA MR2 250M SR4SC (PULSE START)	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR4SC REFLECTOR, MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 250-WATT ED28 PULSE START METAL HALIDE, HORIZONTAL POS.	MR2_250M_SR4SC_PULSE_START.es		22000	0.72	288
P1	3	LITHONIA MR2 250M SR2 HS (PULSE START)	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR2 REFLECTOR, BLACK INTERNAL HOUSE SIDE SHIELD, MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE (1) 250 WATT CLEAR B128 PULSE START METAL HALIDE LAMP IN HORIZONTAL POSITION	MR2_250M_SR2_HS_PULSE_START.es		22000	0.72	288

NOTE:
 1. ALL LIGHT POLE TO BE 20FT. HIGH + 3FT. CONCRETE BASE (ROUND STEEL PAINTED POLE)
 2. NO LIGHTING FIXTURE SUBSTITUTION WITHOUT THE CONSENT AND APPROVAL OF THE ENGINEER.

DATE	NO.	DESCRIPTION	BY
APRIL 2/13	-	ISSUED FOR PERMIT	H
MAR 21/13	1	BUILDING LIGHTING ADDED	H

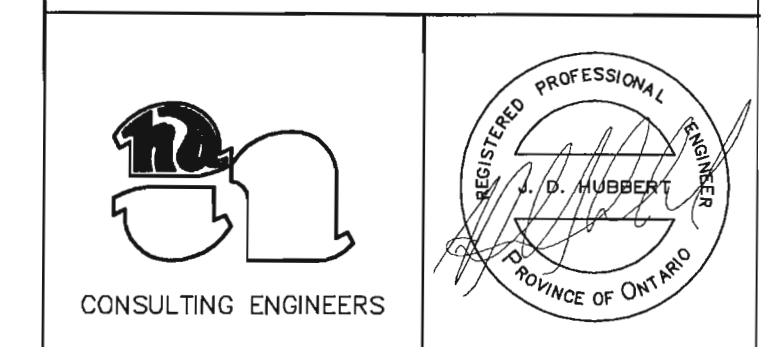
MARK VOID ALL PRINTS DATED PREVIOUS TO FINAL DATE ABOVE

REVISIONS

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT DISCREPANCIES TO THE ENGINEERS BEFORE PROCEEDING WITH WORK

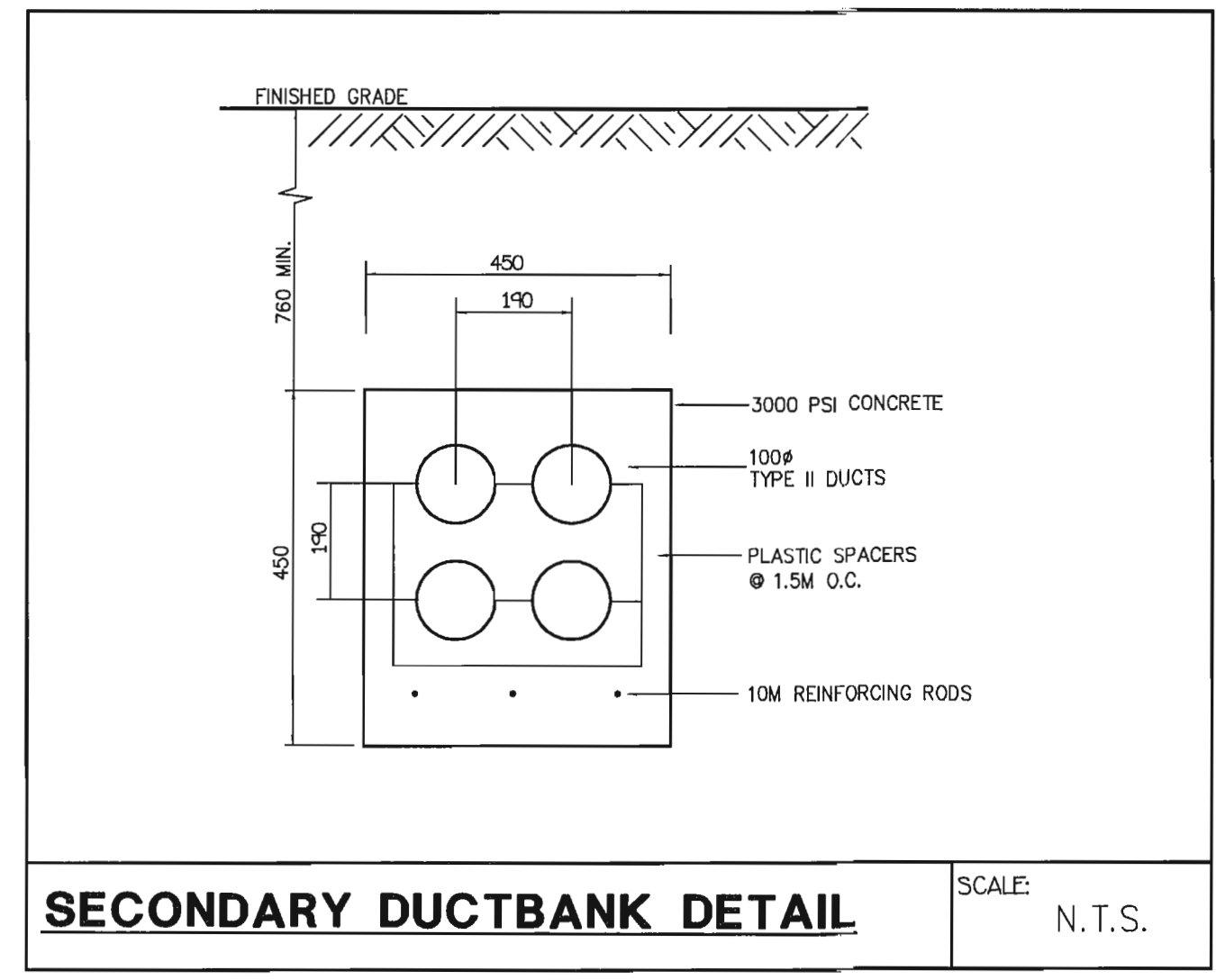
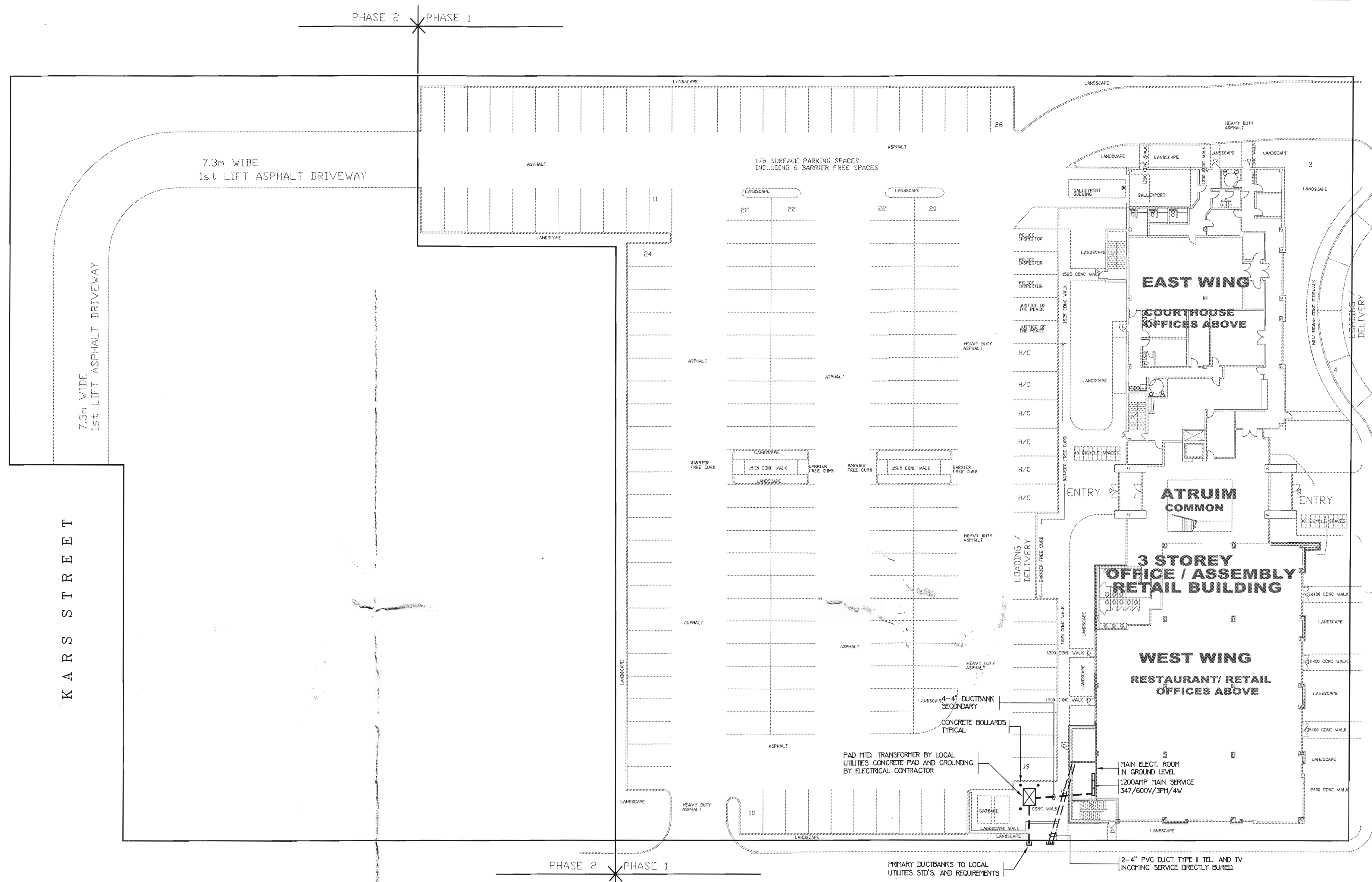
THIS DRAWING IS THE PROPERTY OF THE ENGINEERS AND MUST BE RETURNED ON COMPLETION OF THE WORK

DRAWINGS ARE NOT TO BE SCALED



J. D. Hubbert & Associates
 200 EVANS AVENUE, UNIT NO. 11
 ETOBICOKE, ONTARIO M9Z 1J7, CANADA
 TEL: (416) 251-3440 FAX: (416) 251-9168
 E-MAIL: jdheng@dn.on.com

SITE PLAN - LIGHTING		
ELECTRICAL PROJECT TITLE		
MUNICIPAL OFFICES COURTHOUSE NORFOLK COUNTY SIMCOE, ONTARIO		
DRAWN BY AGN	CHECKED BY JDH	SCALE 1:300
DATE MAY 2012	PROJECT NUMBER 2-3955	DRAWING NUMBER E-1 OF 11



ROBINSON STREET

KARS STREET

QUEEN STREET NORTH

SITE PLAN - POWER

DATE	NO.	DESCRIPTION	BY
APRIL 2/13	-	ISSUED FOR PERMIT	HI

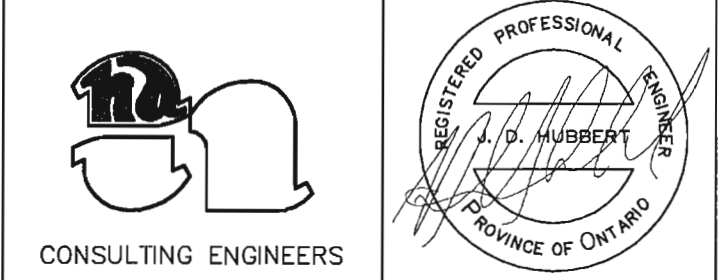
MARK VOID ALL PRINTS DATED PREVIOUS TO FINAL DATE ABOVE

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J. D. Hubbert & Associates
 200 EVANS AVENUE, UNIT No. 11
 ETOBICOKE, ONTARIO M8Z 1J7, CANADA
 TEL: (416) 251-3440 FAX: (416) 251-9168
 E-MAIL: jsheng@on.abn.com

DRAWING TITLE
SITE PLAN - POWER

ELECTRICAL
 PROJECT TITLE
MUNICIPAL OFFICES COURTHOUSE
 NORFOLK COUNTY
 SIMCOE, ONTARIO

DRAWN BY AG	CHECKED BY JDH	SCALE 1:300
DATE MAY 2012	PROJECT NUMBER 2-3955	DRAWING NUMBER E-2 OF 11



The Corporation of Norfolk County

By-Law ##-Z-2023

Being a By-Law to Amend Zoning By-Law 1-Z-2014, as amended, for property described as Lot 1, Block 68, Lot 1, Block 68A, Lots 1 to 11, Block 69, Part Kars Street, Part Metcalfe Street North, Plan 182, Urban Area of Simcoe, Norfolk County in the Name of 2273925 Ontario Inc.

WHEREAS Norfolk Council is empowered to enact this By-Law, by virtue of the provisions of Section 34 and 36(1) (Holding) of the *Planning Act, R.S.O. 1990, CHAPTER P.13*, as amended;

AND WHEREAS this By-Law conforms to the Norfolk County Official Plan.

NOW THEREFORE the Council of The Corporation of Norfolk County hereby enacts as follows:

1. That Schedule A of By-Law 1-Z-2014, as amended, is hereby further amended by changing the zoning of the subject lands identified on Map A (attached to and forming part of this By-Law) from Urban Residential Type 6 Zone (R6) to Urban Residential Type 6 Zone R6(H) with special provisions.
2. That Schedule A of By-Law 1-Z-2014, as amended, is hereby further amended by delineating the lands identified as Part 2 of the subject lands on Map A (attached to and forming part of this By-Law) as having reference to Subsection 14.664;
3. That Subsection 14 Special Provisions is hereby further amended by removing the existing text and replacing it with the following:

14.664 In addition to the uses *permitted* in the *Urban Residential Type 6 (R6) Zone*, a *Long Term Care Facility (66 units)* and *Commercial Retail units (300m²)* shall be *permitted* with revised parking requirements.

14.664 In lieu of the corresponding provisions in the *Urban Residential Type 6 (R6) Zone*, the following shall apply:

- a) minimum *rear yard* – 3.5 metres;
- b) Maximum Building height of 8 storeys;
- c) Maximum number of dwelling units, seventy-four (74)
- d) minimum *floor area ratio*:

v. eight (8) *storey building* – 2.8

- e) The exterior wall of each floor of a *building* facing a *street* and located above four (4) *storeys* shall be stepped back 2 meters from the exterior wall of the 4th *storey* and shall be stepped back an additional 2 meters at the 5th and 6th floor and an additional 2 meters at the 7th and 8th floor.

In lieu of corresponding provision Section 4.9 of the Norfolk County Zoning By-Law 1-Z-2014, the following shall apply:

- i. 1 parking space for every 22 square meters of useable floor area for *Medical Offices* (600sqm).
- f) That the holding (H) provision of this By-Law shall be removed upon the execution and registration of a development agreement and that the applicant obtains a Record of Site Condition from the Ministry of Ontario to the satisfaction of Norfolk County.
- g) That the effective date of this By-Law shall be the date of passage thereof.

ENACTED AND PASSED this ___ day of _____, 2023.

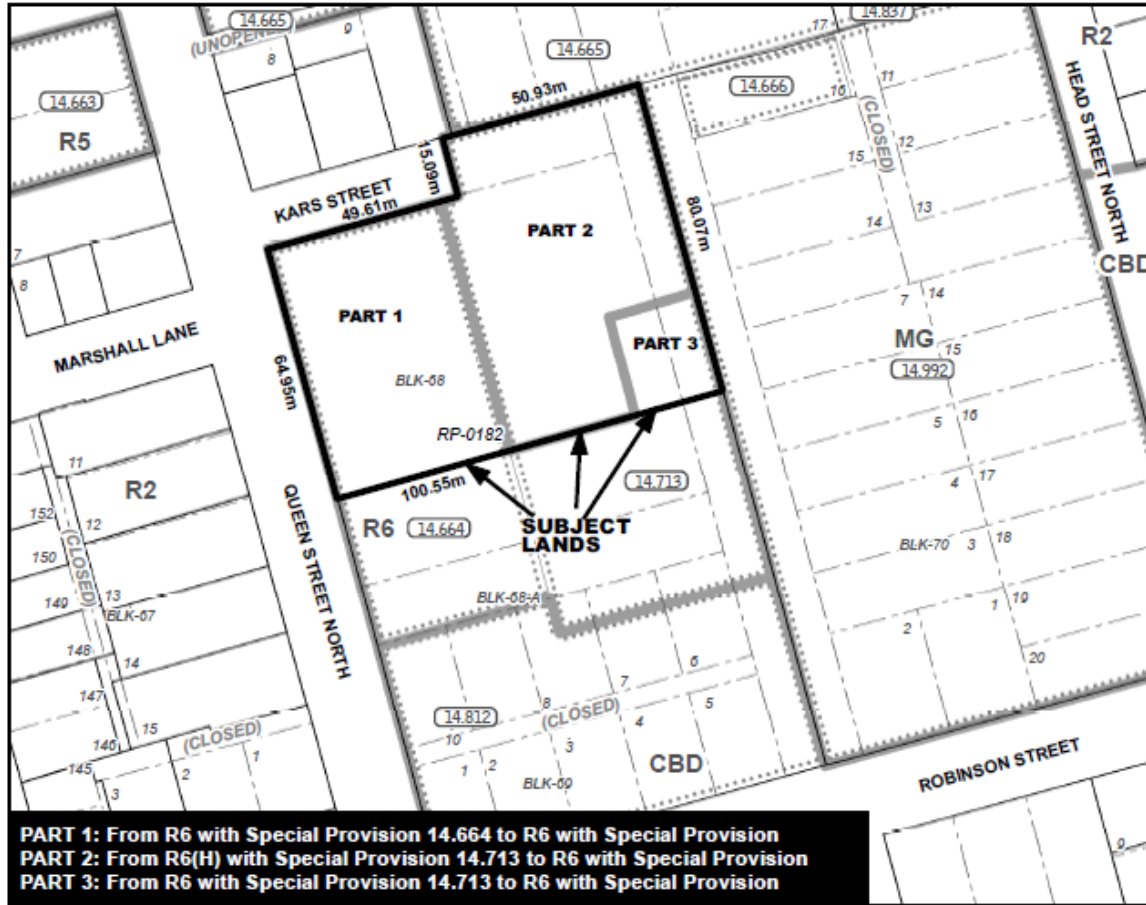
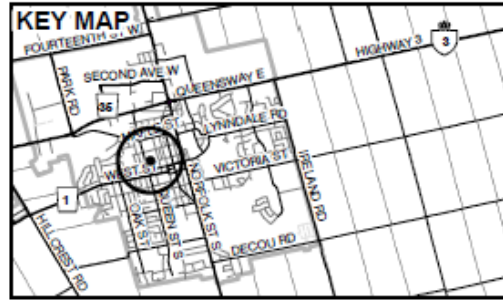
Mayor A. Martin

County Clerk G.Scharback

MAP A

ZONING BY-LAW AMENDMENT NORFOLK COUNTY

in the Urban Area of
SIMCOE



PART 1: From R6 with Special Provision 14.664 to R6 with Special Provision
PART 2: From R6(H) with Special Provision 14.713 to R6 with Special Provision
PART 3: From R6 with Special Provision 14.713 to R6 with Special Provision

LEGEND

Subject Lands

ZONING BY-LAW 1-Z-2014

(H) - Holding

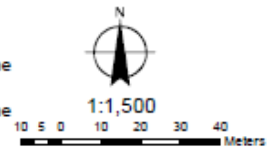
CBD - Central Business District Zone

MG - General Industrial Zone

R2 - Residential R2 Zone

R5 - Residential R5 Zone

R6 - Residential R6 Zone



This is MAP A to Zoning By-law _____ Passed the ____ day of _____.

Mayor: A. Martin

Clerk: G. Scharback

**Explanation of the Purpose and Effect of
By-Law 24-Z-2023**

This By-Law affects a parcel of land described as Lot 1, Block 68, Lot 1, Block 68A, Lots 1 to 11, Block 69, Part Kars Street, Part Metcalfe Street North, Plan 182, Urban Area of Simcoe, Norfolk County, located at 185 Robinson Street.

The purpose of this By-Law is to change the Special Provisions of the subject lands to permit a long term care facility and commercial retail units as permitted uses, to permit a reduced rear yard setback of 3.5 meters, to permit a maximum floor area ratio of 2.8 (18,420 square meters) for an 8 storey building, to amend the step-back provision and address any parking deficiencies related to the proposed development.

A holding “(H)” provision is being placed on the zoning on the subject lands to ensure the appropriate development agreement is executed and registered on title. As well the holding will remain until the General Manager of Public Works or designate has advised in writing that rough grading has been carried out; curb and gutter, storm water sewer systems, first lift of asphalt has been installed and all traffic and street signs have been installed. In addition, all sanitary sewer and water main systems have been constructed and installed in accordance with the development agreement and connected to existing facilities that are in operation.

Applicant TJ CIECIURA
File Number ZNPL2020244
Report Number DCS 16-00
Assessment Roll Number 3310401010001000000